

PLANS

BC20/127347

Prepared by:

FORSMAN & JAMIESON

NEW RESIDENCE

30B REDWOOD CRES, NP

NPDC OFFICE COPY
This Building Consent is approved under the
Building Act and is limited to new work only as
shown on these plans and related specifications
Approved.....*[Signature]*..... Date *20/11/2020*
PC 20/12/347

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20 NOV 2020
Building Consent

DRAWING SHEET INDEX

19.11.2020

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CONSENT ISSUE		✓		


LANDMARK
H O M E S



ARCHITECTURAL SPECIFICATION

EXCAVATION:

EXCAVATE & STOCKPILE TOPSOIL FROM BUILDING SITE FOR RE-USE.

CONCRETE:

ALL CONCRETE WORKS:
- SHALL COMPLY WITH NZS 3109 RELEVANT CLAUSES.
- TO BE A MINIMUM OF 25MPa STRENGTH.

CARPENTRY & MISCELLANEOUS:

GENERAL - COMPLIANCE:
BUILDING WORK TO COMPLY WITH NZS 3604 2011, NZS 3602 (TIMBER TREATMENT) RELEVANT CLAUSES, THE NEW ZEALAND BUILDING CODE, LOCAL AUTHORITY BYLAWS, & ALL OTHER RELEVANT BUILDING CLAUSES NOT LISTED HEREIN.

TIMBER FRAMING - GENERAL NOTES:

- ALL FRAMING TO HAVE MAX. MOISTURE CONTENT OF 18% BEFORE LINING.
- ALL TIMBER TO BE MSG8 / VSG8 FRAMING GRADE UNLESS NOTED OTHERWISE.
- FRAMING SIZES LISTED ARE AS PER NZS 3604 2011.
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK & CONFIRM THE FRAMING REQUIREMENTS OF THE VARIOUS CLADDINGS SPECIFIED THROUGHOUT THE DRAWING SET. BY ALL ACCOUNTS, THE MANUFACTURERS LITERATURE SHALL BE STRICTLY FOLLOWED.

INTERIOR LININGS:

INTERIOR WALL LININGS:
- 10mm GIB PLASTERBOARD WALL LININGS TYPICAL, STOPPED FOR PAINT FINISH

- 10mm GIB AQUALINE WALL LININGS IN & BEHIND ALL WET AREAS, STOPPED FOR PAINT FINISH GENERALLY.

INTERIOR CEILING LININGS:

- 13mm GIB PLASTERBOARD CEILING LININGS ON 'GIB RHONDO' CEILING BATTENS AT 600 CRS MAX.

- 13mm GIB AQUALINE PLASTERBOARD CEILING LININGS ON 'GIB RHONDO' CEILING BATTENS AT 600 CRS MAX.

FIXINGS:

- ALL FIXINGS TO COMPLY WITH THE APPROPRIATE TABLES IN NZS 3604 2011 OR MITEK LUMBERLOK FIXING CHARTS.

- FIXING DURABILITY TO COMPLY WITH NZS 3604 2011, SECTION 4.

- H1.2 TIMBER BOTTOM PLATE.

- INSITU FOOTINGS = M12 TRU BOLT, AT 900mm MAX CRS OVER DPC TO SLAB AND
- BLOCK RING FOOTING = M12 x 150mm FORTRESS SCREW BOLT, AT 900mm MAX CRS OVER DPC TO SLAB.

BOTTOM PLATE SIZES MAY VARY. STRAP BOTTOM PLATES WHERE REQUIRED FOR BRACING PURPOSES.

- PROVIDE ALL PROPRIETARY METAL FIXINGS AS REQUIRED.

- EXTERIOR BOLTS & PLATES TO BE STAINLESS STEEL.

LINTELS:

ALL LINTEL SIZES TO BE IN ACCORDANCE WITH SIZES LISTED WITHIN DRAWING SET. ALL STRAPPED WHERE REQUIRED IN ACCORDANCE WITH NZS 3604 2011, FIXING TABLE 8.14.

PLUMBING & DRAINAGE:

GENERAL:

- PLUMBING & DRAINAGE, SIZES, & FALLS TO COMPLY WITH NZBC G13 AS1/AS2

ALL DRAINS SHALL BE LAID TO ACCEPTABLE FALLS - DO NOT OVERSIZE FOR LACK OF FALL

- ALL DRAINS & WASTES TO BE uPVC.

- ALL HOT & COLD WATER PIPING TO BE 1/2" PLEX K2.

- INSULATE ALL HOT WATER PIPING WITH ARMARLEX.

ALUMINIUM WINDOWS & DOORS:

WINDOW / WINDOW TYPE:

- ALUMINIUM WINDOWS / DOORS, DOUBLE GLAZED.

GENERAL NOTES:

- GLAZING TO COMPLY WITH NZS 4223.

- DOUBLE GLAZING TO ENTIRE HOUSE.

- LEVEL OF TINTING TO BE CONFIRMED ON SITE BEFORE WINDOW MANUFACTURE.

- 2 STAGE CATCHES TO ALL WINDOWS.

- ALL OPENING WINDOWS WITHIN 760mm OF FLOOR LEVEL TO BE FITTED WITH RESTRICTORS SO AS NOT TO PERMIT THE PASSAGE OF A 100mm SPHERE - TO COMPLY WITH NZBC F4 - SAFETY FROM FALLING.

- PROVIDE LAMINATED SAFETY GLASS TO ALL WINDOWS & DOORS WHERE BELOW 800mm FROM FLOOR LEVEL.

- CONFIRM ALL FINISHES, INCLUDING LEVEL OF TINT, OPAQUE GLAZING ETC., WITH CLIENT BEFORE MANUFACTURE.

TIMBER TREATMENT:

H1.2 - ALL INTERIOR FRAMING.

H3.2 - ALL EXTERIOR FRAMING, INCLUDING CANTILEVERED FLOOR JOISTS.

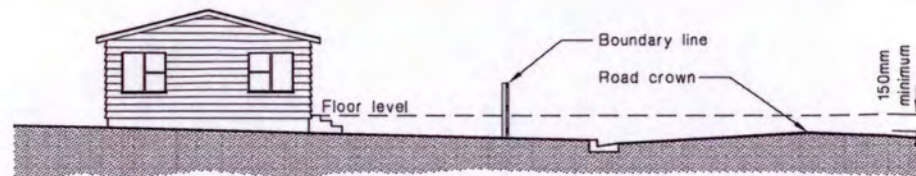
H5 - ALL TIMBER IN CONTACT WITH GROUND.

NOTE: REFER TO NZBC B1/AS1 IF FURTHER DETAIL IS REQUIRED.

LIGHTING:

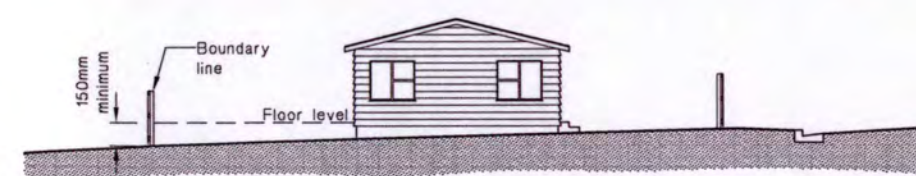
NOTE IF DOWNLIGHTS TO BE USED, THEY ARE TO BE CA RATED AND MINIMUM OF ONE PER 5m².

Figure 1: Minimum Floor Level for Site Above Road
Paragraph 2.0.1 a)



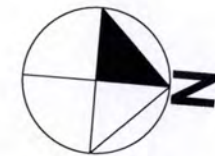
SECTION

Figure 2: Minimum Floor Level for Site Below Road
Paragraph 2.0.1 b)

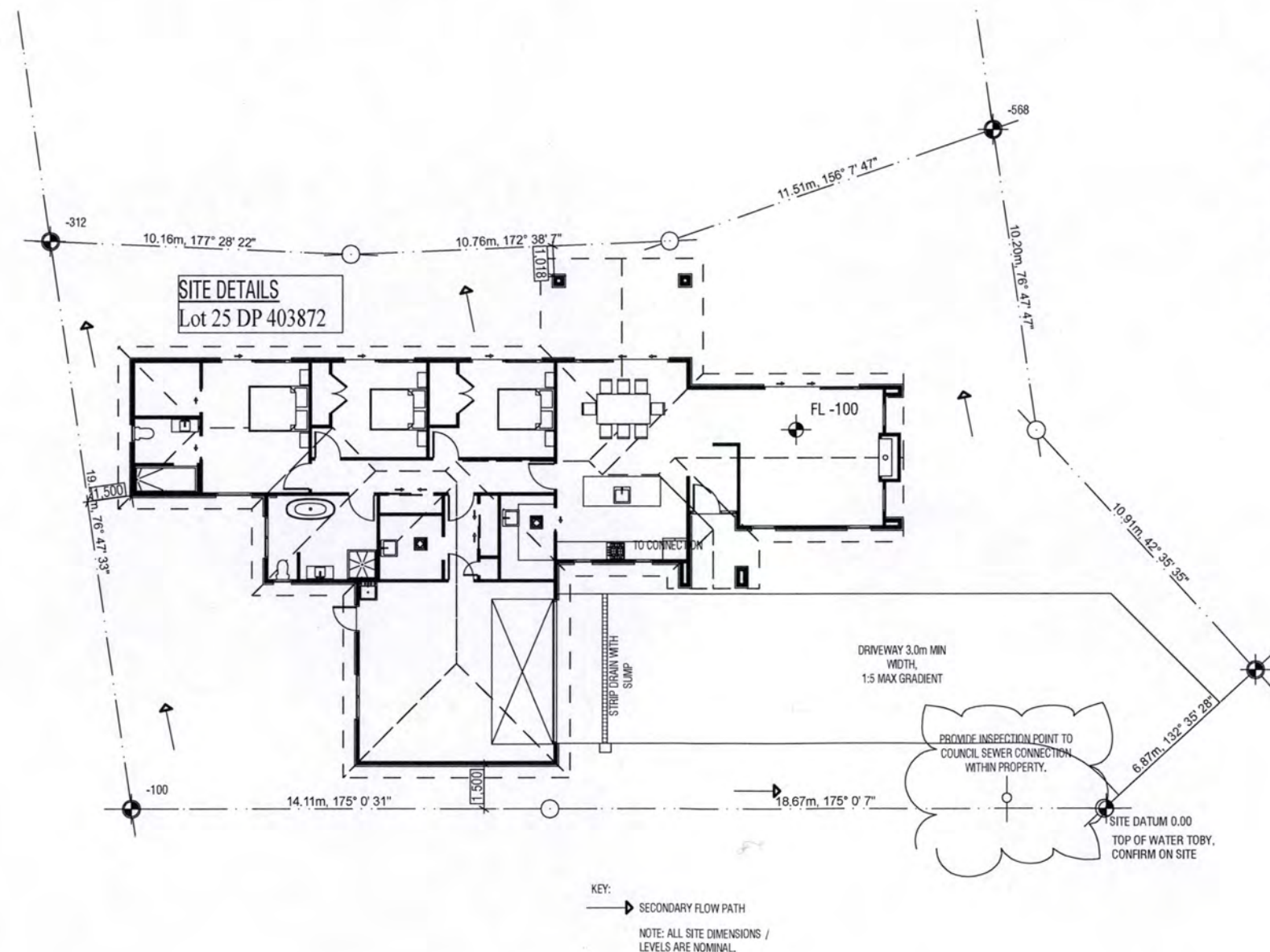


SECTION

NOTE: HOUSE TO COMPLY WITH FIGURE NZBC E1/AS1 ACCEPTABLE SOLUTION FIGURE 1 OR 2



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SEDIMENT CONTROL:

ALL SEDIMENT CONTROL TO COMPLY WITH NZBC E1

STRAW BALES TO BE LAID TO ALL BOUNDARIES WHERE RUN OFF MAY OCCUR. STRAW BAILS TO BE PLACED IN A 200mm DEEP TRENCH, TIED TOGETHER AND ANCORED TO GROUND BY STAKES.

SURPLUS GRAVEL AND SOIL TO BE CONTAINED BEHIND SEDIMENT FENCES.

DOWNPipes TO BE CONNECTED AS SOON AS ROOF IS FINISHED AND DRAINS ARE LAID OR AS SOON AS PRACTICAL.

CONTRACTOR TO OVERSEE ALL SEDIMENT CONTROL

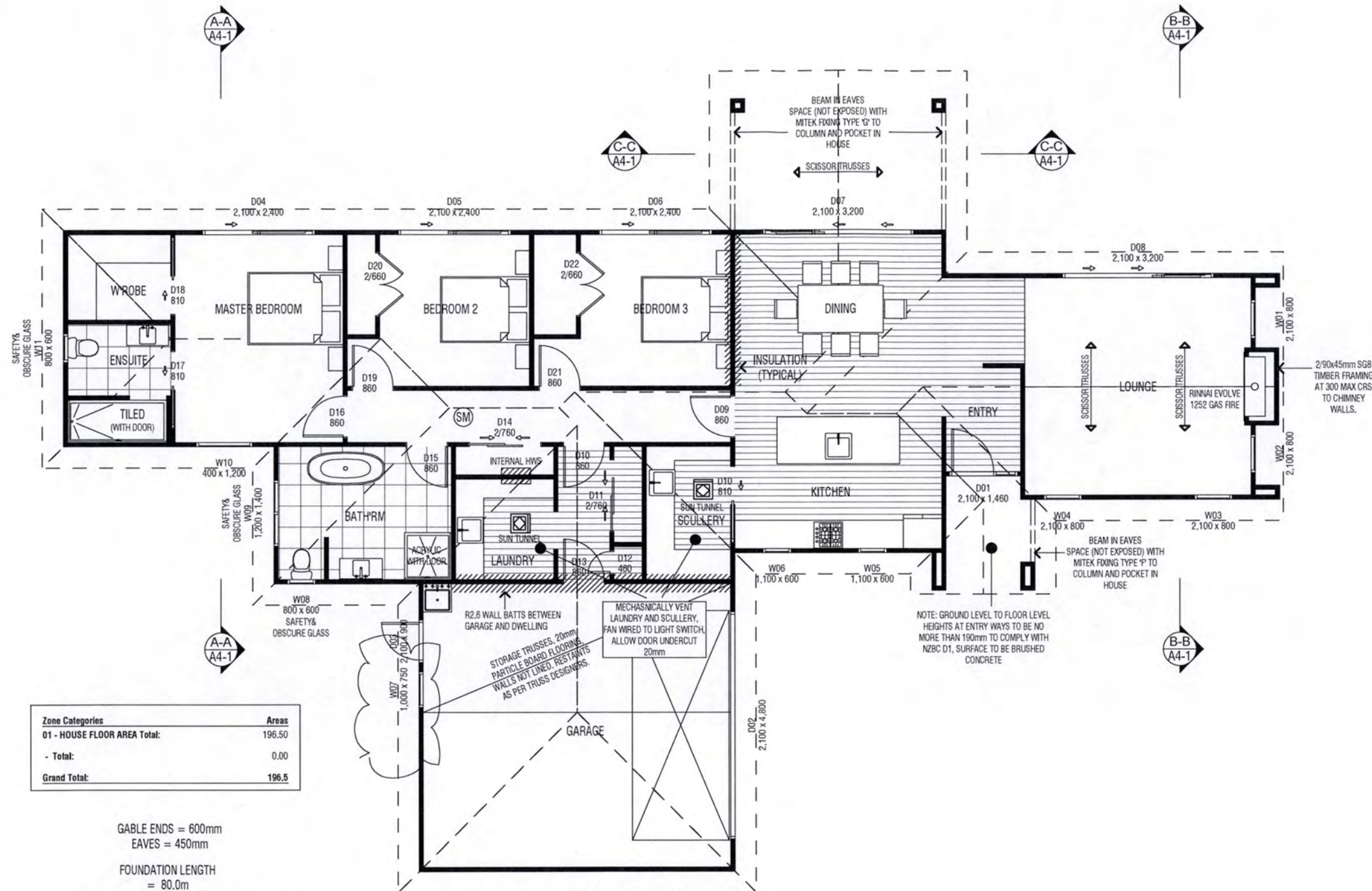
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SITE PLAN

A1-1

CHECK ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO CONSTRUCTION, REPORT ANY DISCREPANCIES TO THE DESIGNER



Zone Categories	Areas
01 - HOUSE FLOOR AREA Total:	196.50
- Total:	0.00
Grand Total:	196.5

GABLE ENDS = 600mm
EAVES = 450mm
FOUNDATION LENGTH
= 80.0m

NOTE: WATERPROOFING MEMBRANE
TO BE APPLIED AS PER CODE OF
PRACTICE FOR INTERNAL WET AREA
MEMBRANES. SEPERATE INSPECTION IS
REQUIRED.

NOTE: MECHANICALLY VENT SHOWERS / DRYER /
RANGE HOOD DIRECTLY TO OUTSIDE THROUGH
SOFFIT

G = MITEK LINTEL FIXING

FLOOR PLAN
SCALE 1:100

CONSTRUCTION KEY:

90x45mm TIMBER FRAMING
600 MAX CRS - 2.55m STUD
UNLESS NOTED OTHERWISE

NEW WINDOWS, SIZES AS LISTED.
W01 = WINDOW NUMBER
1,400 x 1,800 = WIN. SIZE (h x w)

NEW DOORS, SIZES AS LISTED.
D01 = WINDOW NUMBER
810 = DOOR SIZE

OSM SMOKE DETECTORS TO COMPLY
WITH NZBC F7/AS1

CONSTRUCTION NOTES:

ALL WORKS TO COMPLY WITH RELEVANT LOCAL
AUTHORITY, NZS 3604 2011 (LATEST AMENDMENTS),
& THE NEW ZEALAND BUILDING CODE.

CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO
WORK COMMENCEMENT.

DRAWINGS TO BE READ IN CONJUNCTION WITH THE
ARCHITECTURAL SPECIFICATION.

ALLOW FOR SOLID BLOCKING BEHIND WALL HUNG BATHROOM
VANITYS / TOILETS / RANGE HOODS /
DRYERS / TOILET ROLL HOLDERS ETC.
CONFIRM WITH OWNER PRIOR TO CONSTRUCTION

AMENDMENT
01 130121

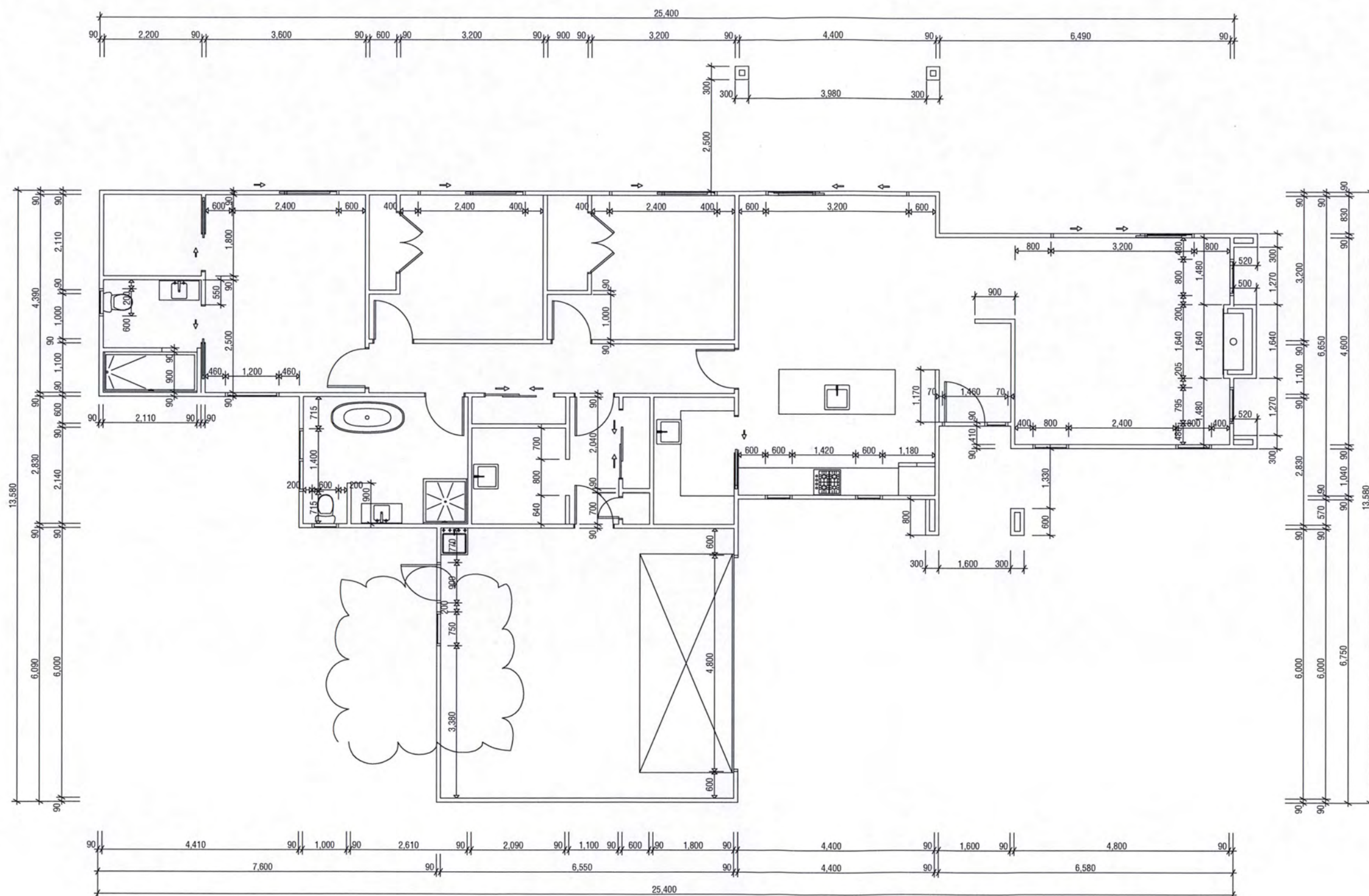
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DESIGN: DRAWN: CHECKED:
P.R. P.R. P.R.
JOB: 2159 BUILDING
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FLOOR PLAN

A2-1

CHECK ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO CONSTRUCTION, REPORT ANY DISCREPANCIES TO THE DESIGNER



DIMENSION PLAN
SCALE 1:100

CHECK ALL DIMENSIONS BETWEEN DIMENSION / FOUNDATION / SETOUT
PLAN PRIOR TO SETOUT, REPORT ANY DISCREPANCIES TO THE
DESIGNER

NOTE: DIMENSIONS ARE TO TIMBER FRAME, CLADDING
DIMENSIONS NOT SHOWN FOR CLARITY - REFER TO
FOUNDATION PLAN FOR OVERALL DIMENSIONS FOR SETOUT.

CHECK ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO CONSTRUCTION, REPORT ANY DISCREPANCIES TO THE DESIGNER

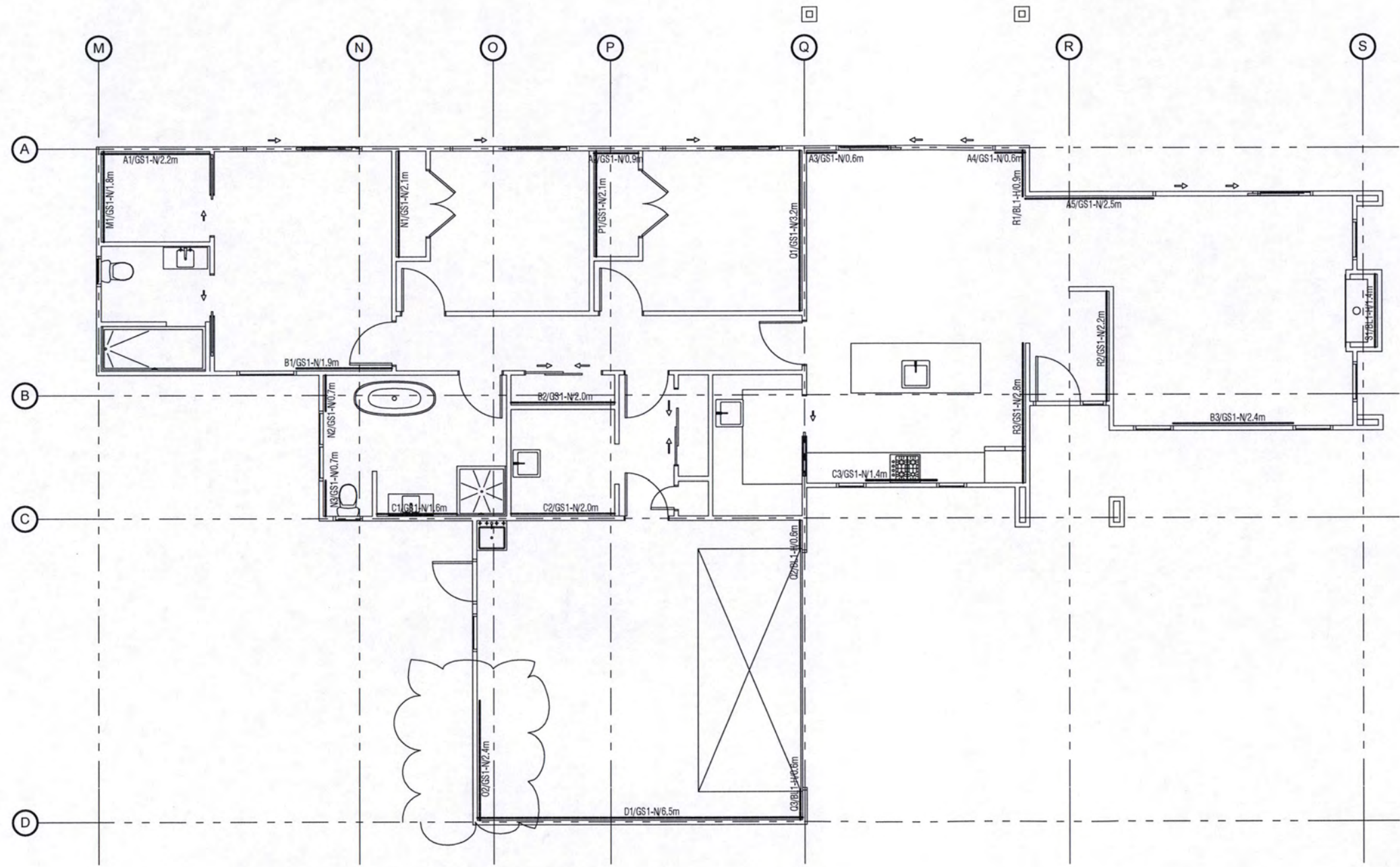
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DIMENSION PLAN

A2-2



WIND ZONE DETERMINATION

Wind Region	A
Lee Zone	N/A
Ground Roughness	Urban
Site Exposure	Sheltered
Topographic class	Outer - Low - T1
Wind Zone	High

AMENDMENT
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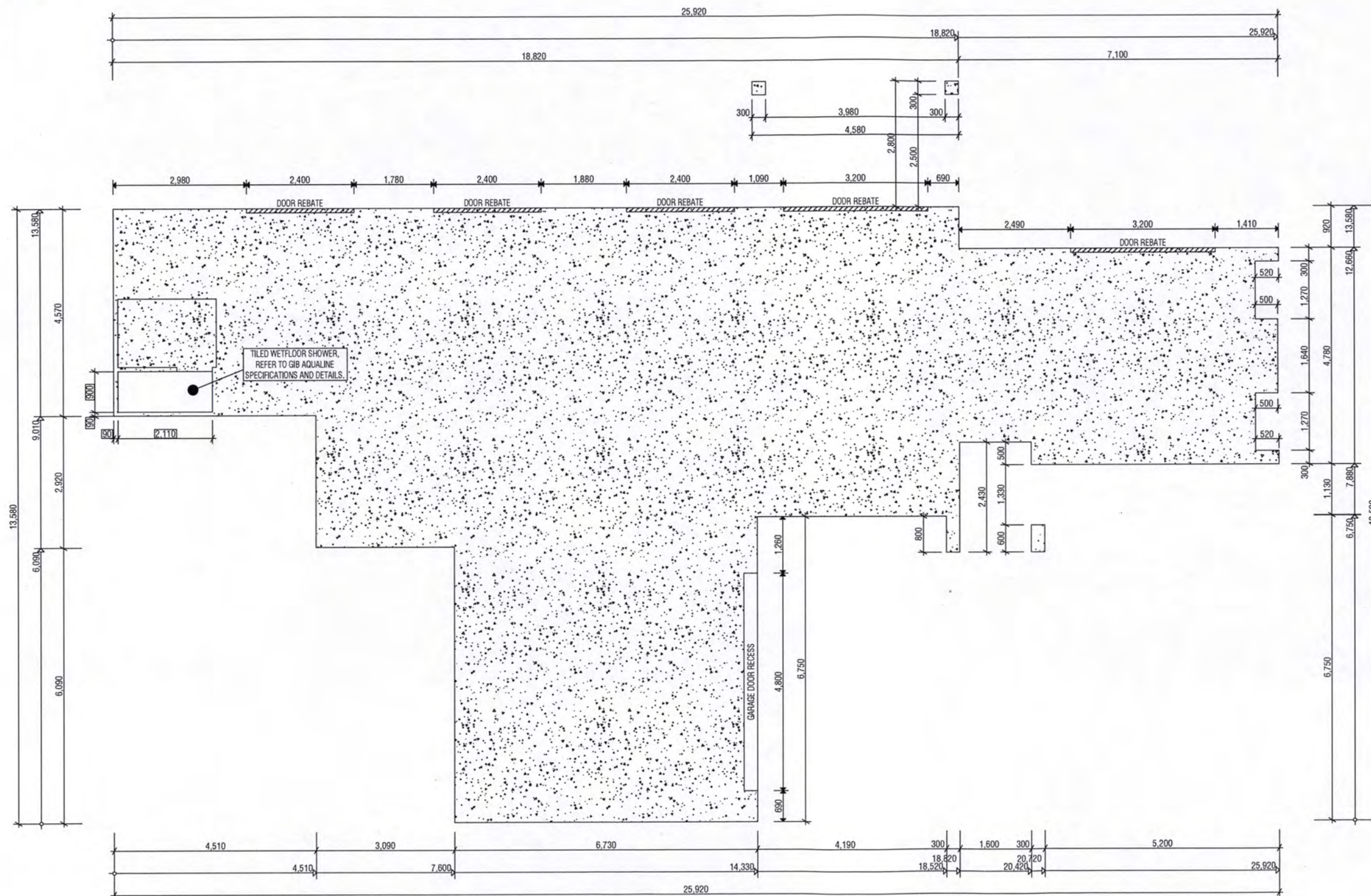
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BRACING PLAN
SCALE 1:100

BRACING PLAN

A2-3

CHECK ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO CONSTRUCTION, REPORT ANY DISCREPANCIES TO THE DESIGNER



FOUNDATION PLAN
SCALE 1:100

CHECK ALL DIMENSIONS BETWEEN DIMENSION / FOUNDATION / SETOUT
PLAN PRIOR TO SETOUT, REPORT ANY DISCREPANCIES TO THE
DESIGNER

NOTE: DIMENSIONS ARE TO TIMBER FRAME, CLADDING
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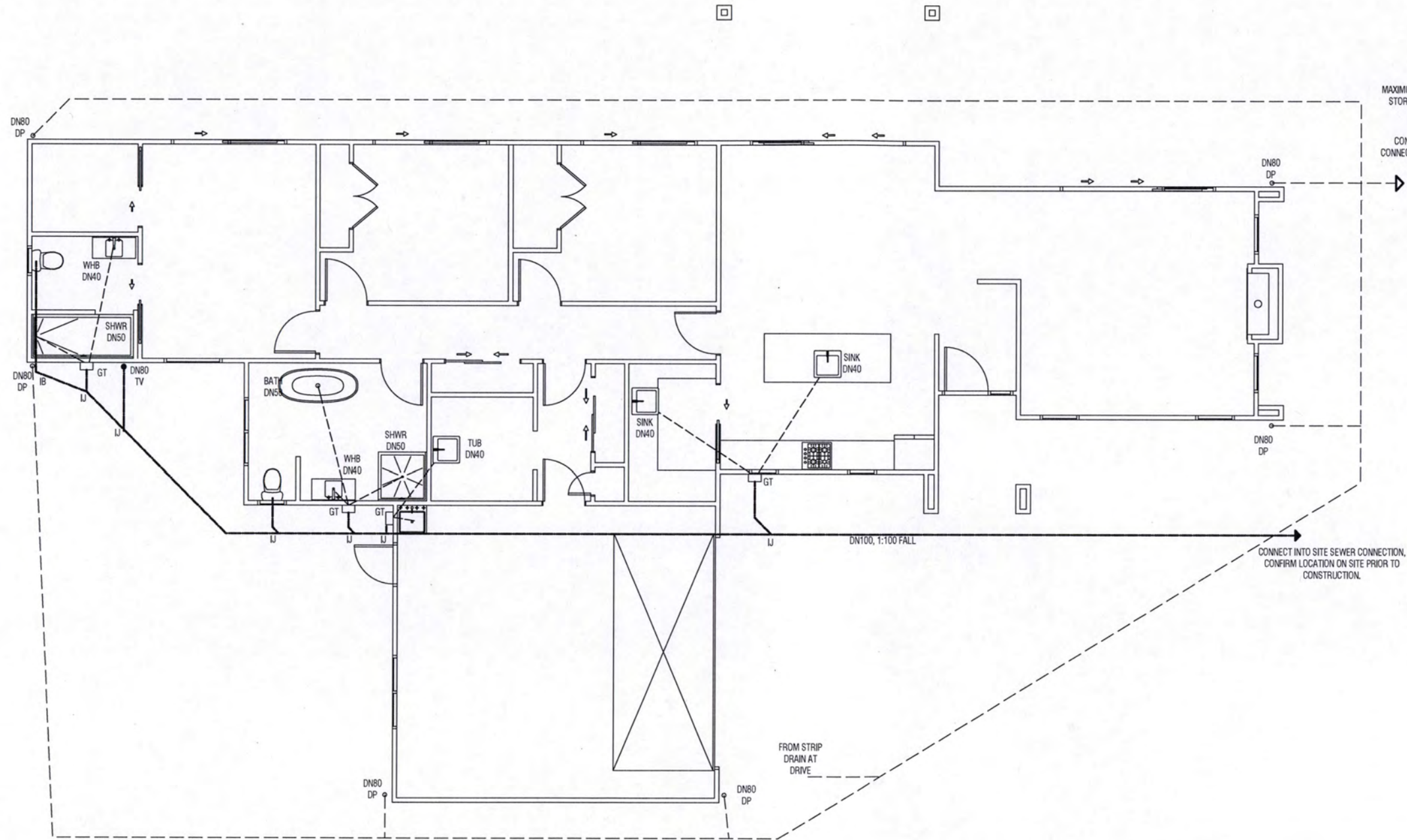
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FOUNDATION PLAN

A2-4



PLUMBING AND DRAINAGE KEY:

- GT GULLY TRAP
 WASTE PIPES
 SEWER DRAIN

ABBREVIATIONS:

- IB INSPECTION BEND
 IJ INSPECTION JUNCTION
 AAV AIR ADMITTANCE VALVE
 GT GULLY TRAP
 SW STORMWATER
 DP DOWNPIPE

NOTES:

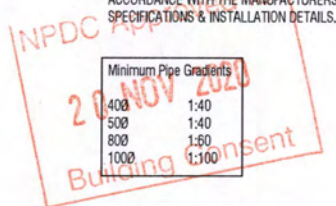
ALL SERVICES TO COMPLY WITH G13 AS1/AS2, LOCAL AUTHORITY BYLAWS, & OTHER APPROVED ASSOCIATED DOCUMENTS.

CONTRACTOR TO LOCATE, VERIFY, & MARK POSITION OF ALL BELOW GROUND SERVICES ON OR ADJACENT TO THE SITE PRIOR TO CONSTRUCTION COMMENCEMENT. POSITIONS SHOWN ON DRAWINGS ARE APPROXIMATE ONLY.

ALL WASTE & DRAIN SIZES TO BE IN STRICT ACCORDANCE WITH G13 AS1/AS2.

ALL DRAINS TO BE LAID TO ACCEPTABLE FALLS IN STRICT ACCORDANCE WITH G13 AS1/AS2.

ALL FIXTURES & FITTINGS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS & INSTALLATION DETAILS.



Minimum Pipe Gradients	
400	1:40
500	1:40
800	1:50
1000	1:100



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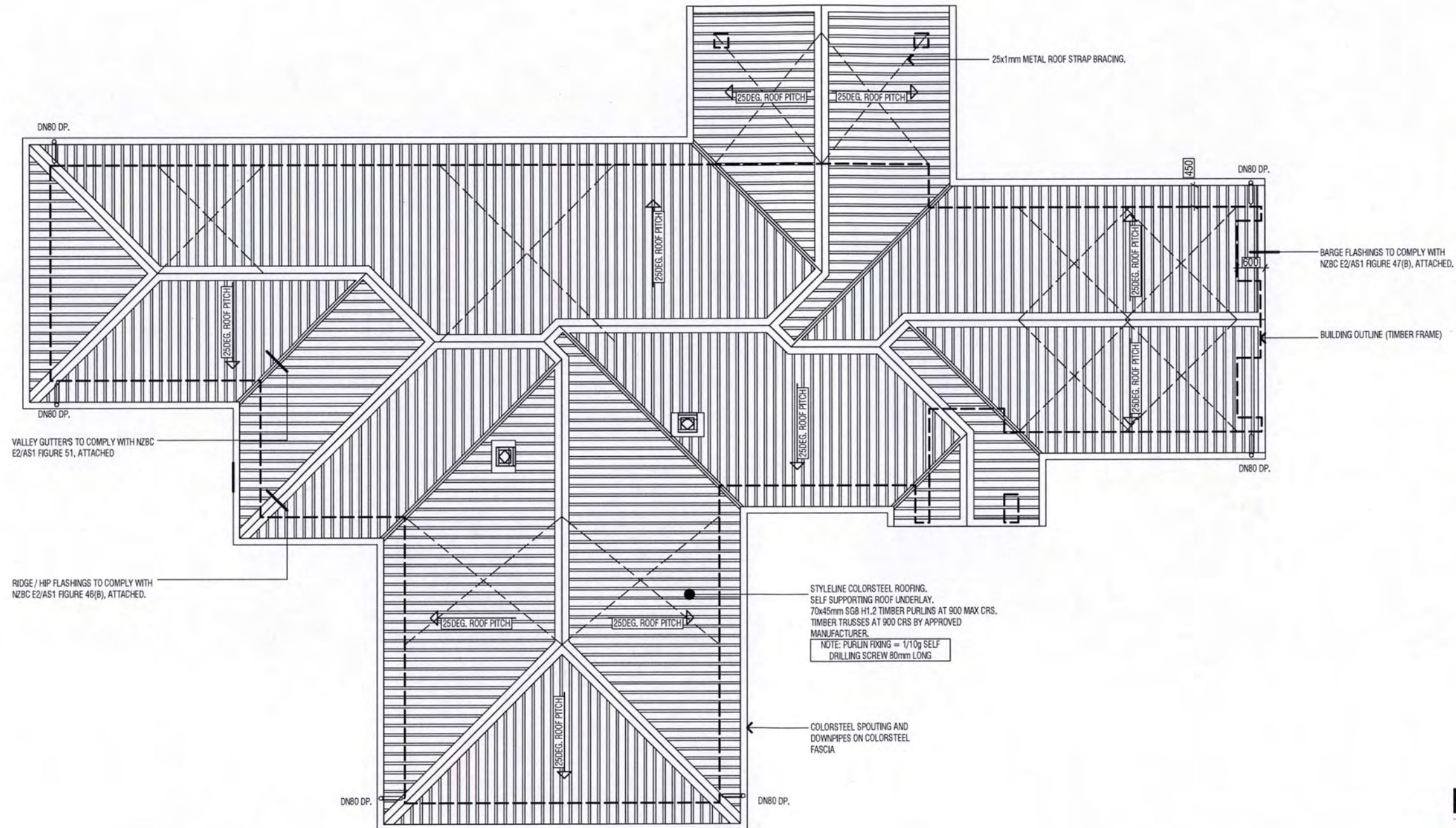
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PLUMBING AND DRAINAGE PLAN
 SCALE 1:100

CHECK ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO CONSTRUCTION, REPORT ANY DISCREPANCIES TO THE DESIGNER

PLUMBING AND
 DRAINAGE PLAN

A2-6



GENERAL ROOF NOTES:

ALL WORK TO COMPLY WITH NZS 3604 2011, LOCAL AUTHORITY BYLAWS, & THE NEW ZEALAND BUILDING CODE.

DRAWINGS TO BE READ IN CONJUNCTION WITH THE TRUSS MANUFACTURERS DRAWINGS, DETAILS, & SPECIFICATIONS - REFER ATTACHED.

DRAWINGS TO BE READ IN CONJUNCTION WITH ALL RELEVANT & STATED MANUFACTURERS TECHNICAL LITERATURE.

TRUSSES - NAIL PLATE PRE-FABRICATED TIMBER TRUSSES AT 900 CRS MAX. DESIGNED BY AN APPROVED TRUSS MANUFACTURER

DESIGN AND SUPPLY SHALL INCLUDE ALL ROOF PLANE BRACING, GABLE BRACING, RIDGE BOARDS/BEAMS WHERE THEY MAY BE REQUIRED.

IT IS THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO ALLOW TO DESIGN FOR THE ENTIRE ROOF FRAMING SYSTEM WHICH SHALL INCLUDE ALL ROOF PLANE & GABLE BRACING & ALL OTHER SUPPORT BEAMS WHICH ARE NOT SPECIFICALLY INDICATED ON THE DRAWINGS.

IT IS THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO INFORM THE DESIGNER OF ANY ADDITIONAL LOAD BEARING WALLS REQUIRED THAT HAVE NOT ALREADY BEEN INDICATED ON THE FLOOR SLAB PLAN, OR ANY LOAD BEARING POINTS OVER WINDOWS OTHER THAN THAT OF A TRUSS.

REFER ALL DISCREPANCIES TO THE DESIGNER.

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STYLELINE COLORSTEEL ROOFING.
SELF SUPPORTING ROOF UNDERLAY.
70x45mm SGB H1.2 TIMBER PURLINS AT 900 MAX CRS.
TIMBER TRUSSES AT 900 CRS BY APPROVED MANUFACTURER.
NOTE: PURLIN FIXING = 1/10g SELF DRILLING SCREW 80mm LONG

COLORSTEEL SPOUTING AND DOWNPIPES ON COLORSTEEL FASCIA

NOTE:
TIMBER TRUSSES AT 900 CRS BY APPROVED MANUFACTURER.
2/100x3.75 SKEW NAILS + 3 WIRE DOG FIXING, (UNLESS NOTED OTHERWISE)

FLASHING NOTE: HIGH WIND ZONE
RIDGE / HIP = 130mm
BARGE = 50mm / 2 CRESTS

ROOF PLAN
SCALE 1:100

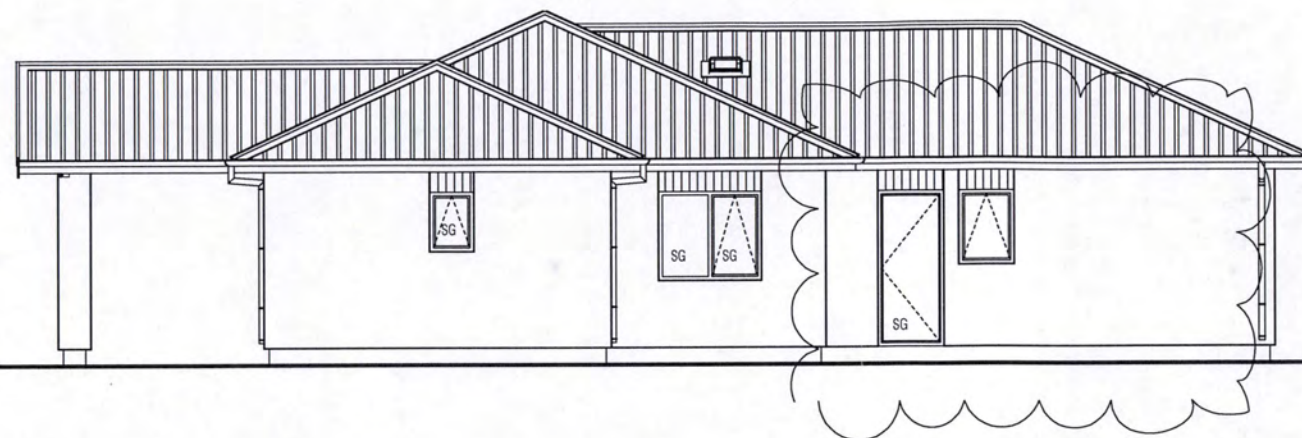
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ROOF PLAN

A2-7

CHECK ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO CONSTRUCTION, REPORT ANY DISCREPANCIES TO THE DESIGNER



SOUTH ELEVATION
SCALE 1:100

BUILDING ENVELOPE RISK MATRIX		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		4

AMENDMENT

01 130121

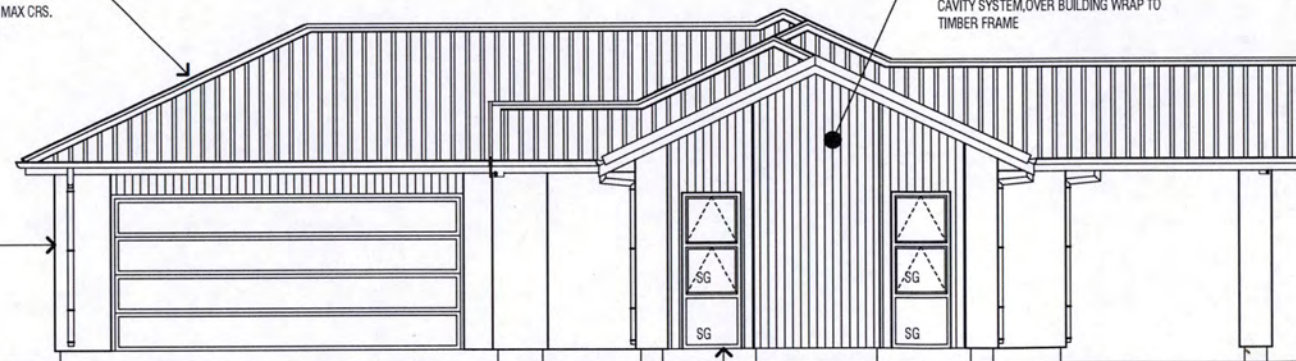
STYLELINE COLORSTEEL ROOFING.
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70x45mm SG8 H1.2 TIMBER PURLINS AT 900 MAX CRS.
TIMBER TRUSSES AT 900 CRS BY APPROVED
MANUFACTURER.
NOTE: PURLIN FIXING = 1/10g SELF
DRILLING SCREW 80mm LONG

ENSURE ON GABLE ENDS
TIMBER FRAMING AT 600 MAX CRS, FOR
CLADDING FIXING, NOGGS AT 400 MAX CRS
TO VERTICAL WEATHERBOARD AREAS.

ABOVE WINDOWS / DOORS
CEDAR VERTICAL CLADDING, ON 20mm
CAVITY SYSTEM, OVER BUILDING WRAP TO
TIMBER FRAME

-50mm EPS CLADDING WITH
PLASTER FINISH.
-20mm CAVITY SYSTEM.
-BUILDING WRAP.

ALUMINIUM DOORS AND WINDOWS
DOUBLE GLAZED.



NORTH ELEVATION
SCALE 1:100

BUILDING ENVELOPE RISK MATRIX		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		4

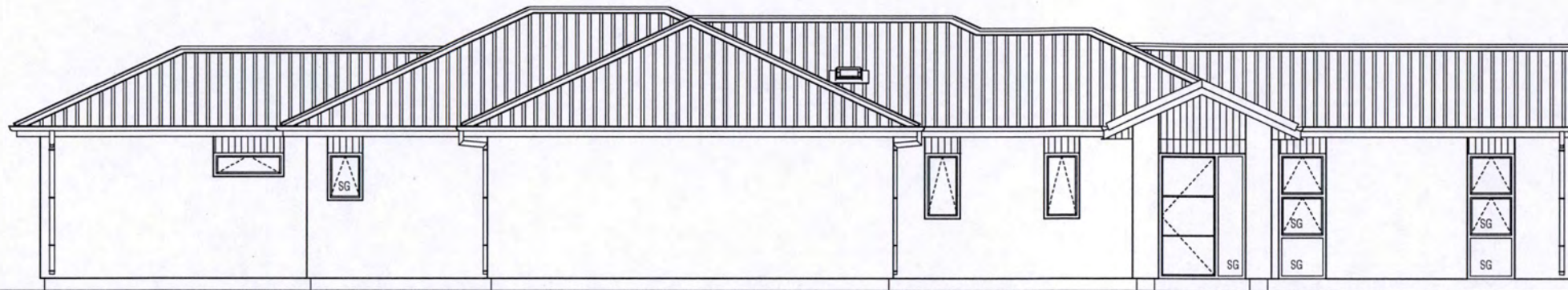
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ELEVATIONS

A3-1

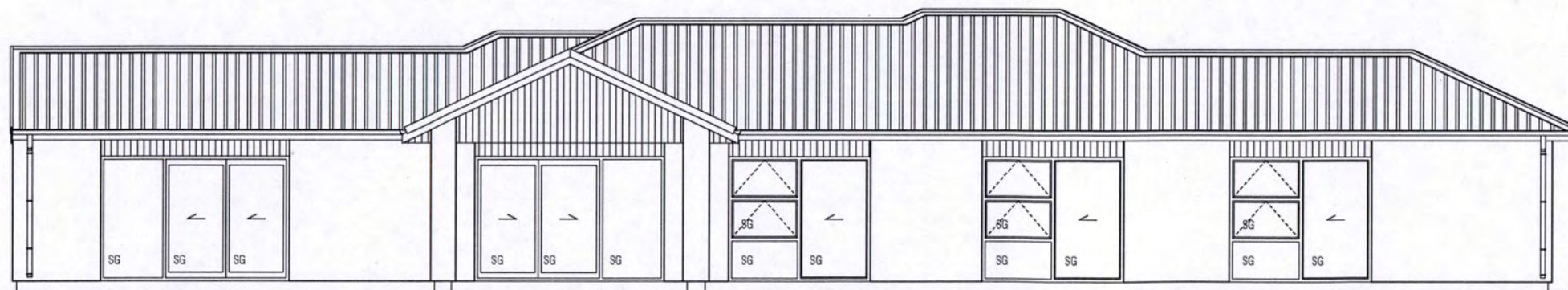
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EAST ELEVATION
SCALE 1:100

BUILDING ENVELOPE RISK MATRIX		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		4

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WEST ELEVATION
SCALE 1:100

BUILDING ENVELOPE RISK MATRIX		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		4

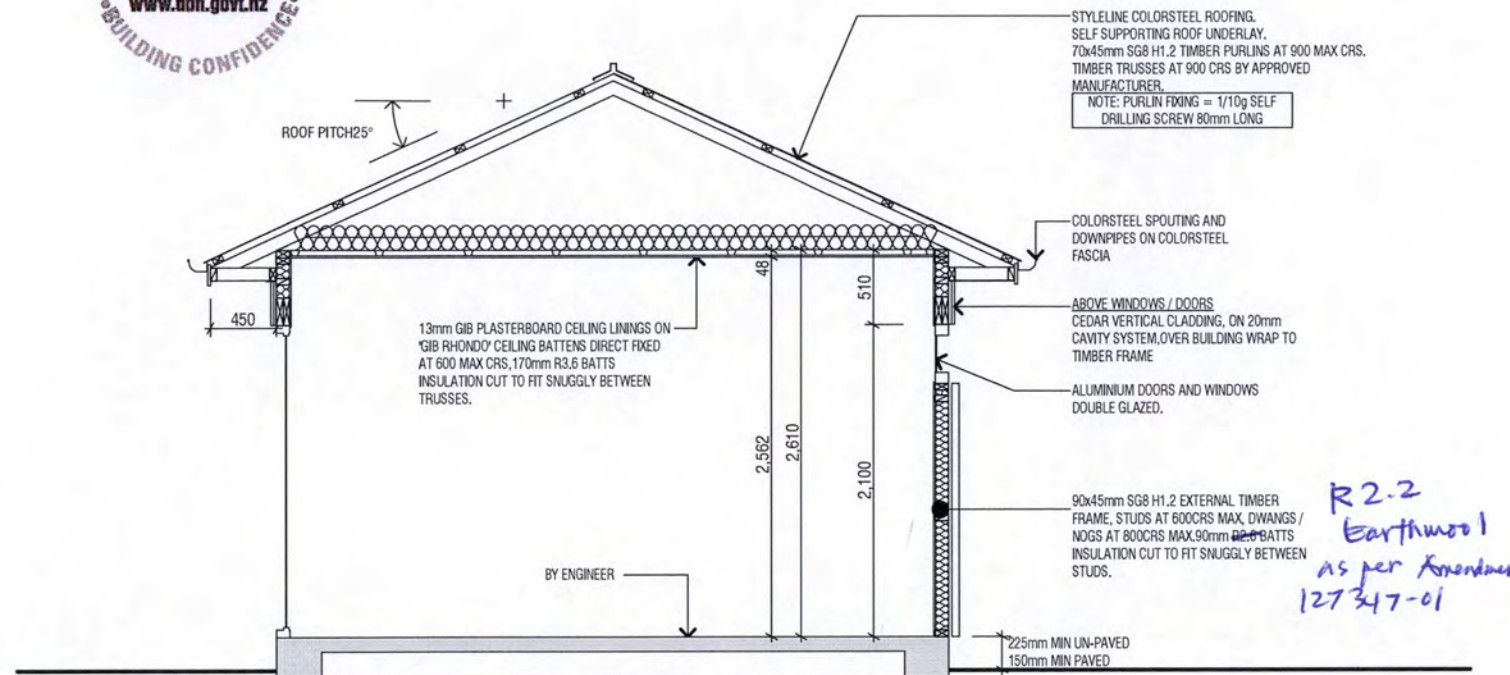
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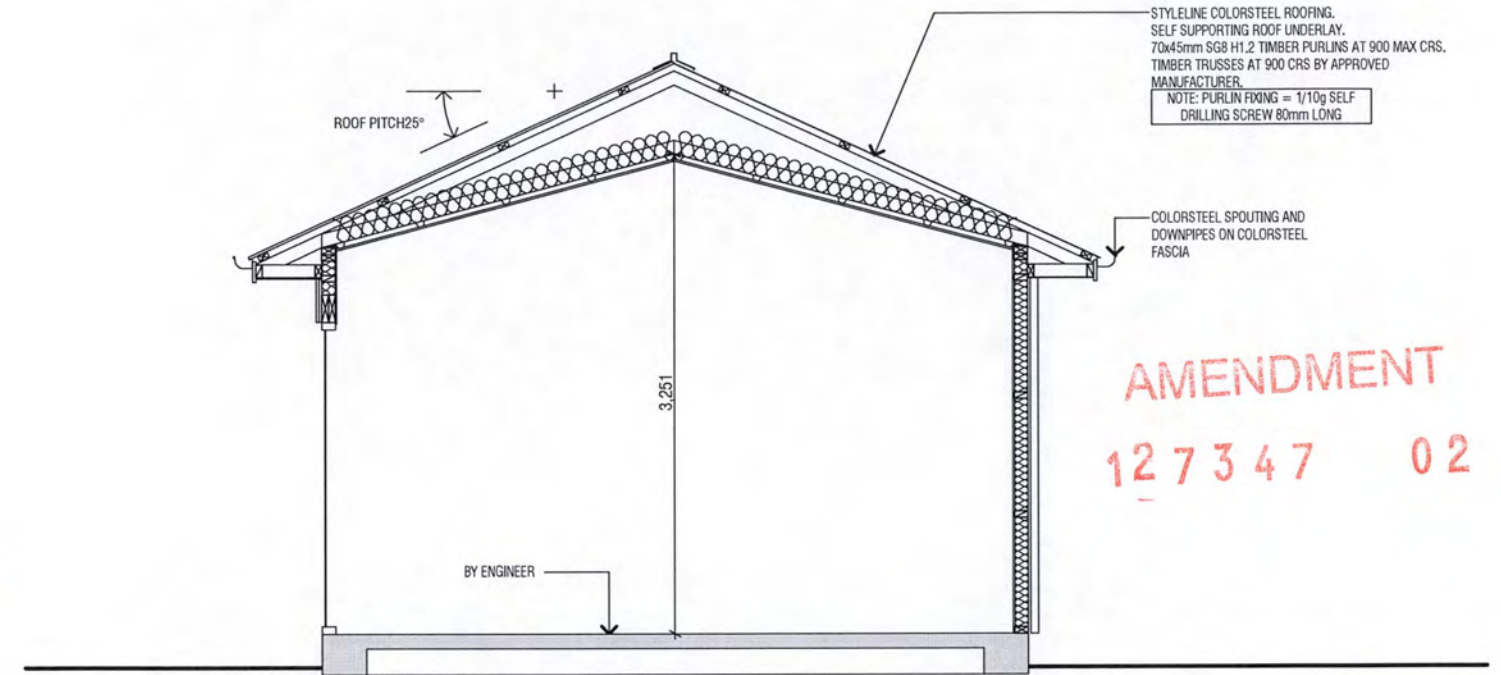
ELEVATIONS

A3-2

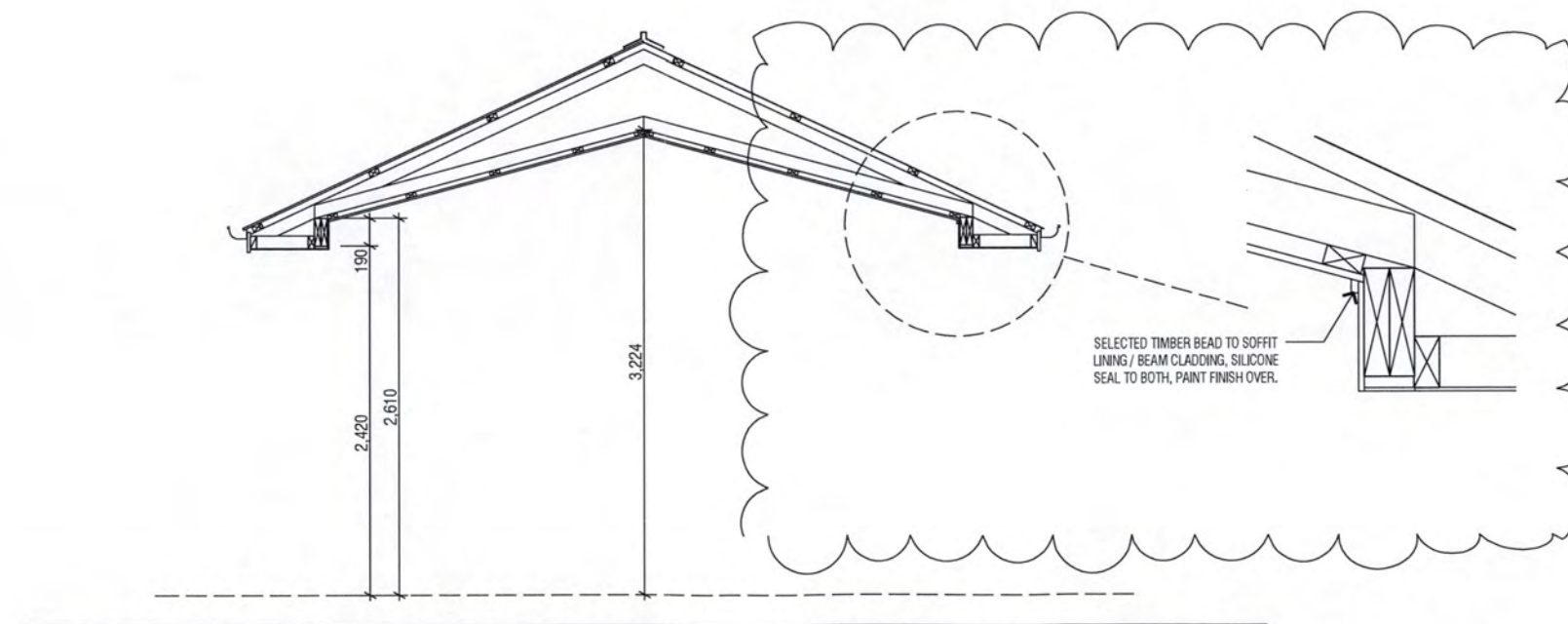
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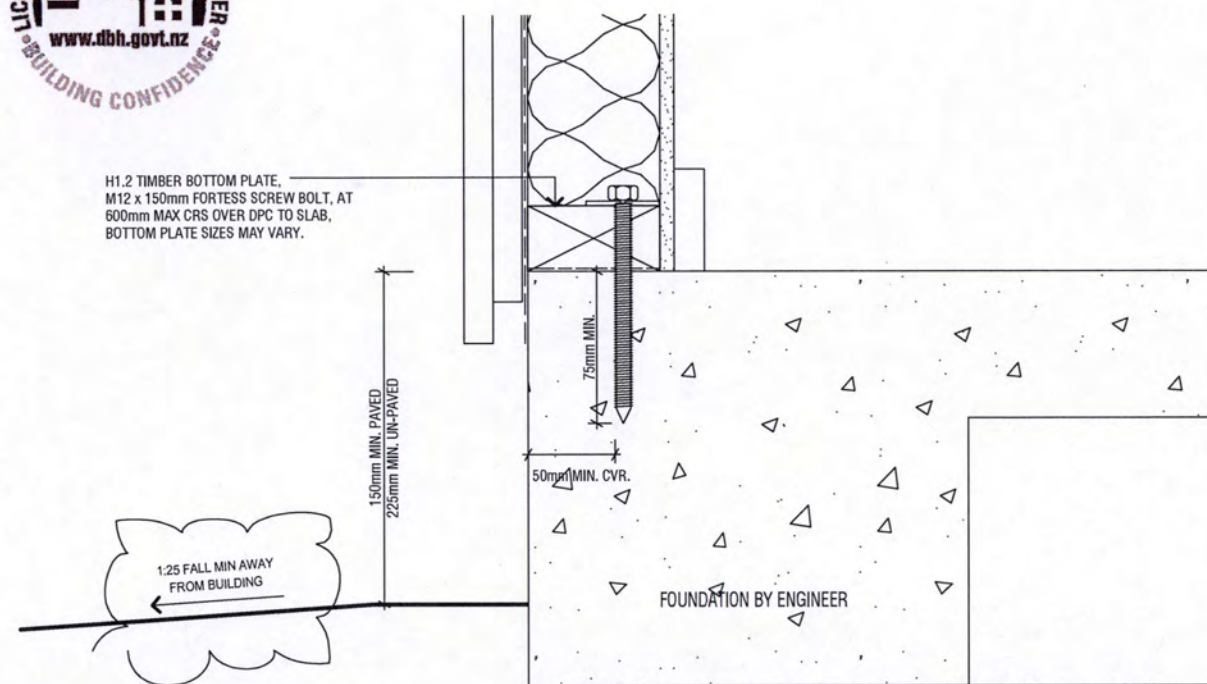
CROSS SECTION A-A
SCALE 1:50



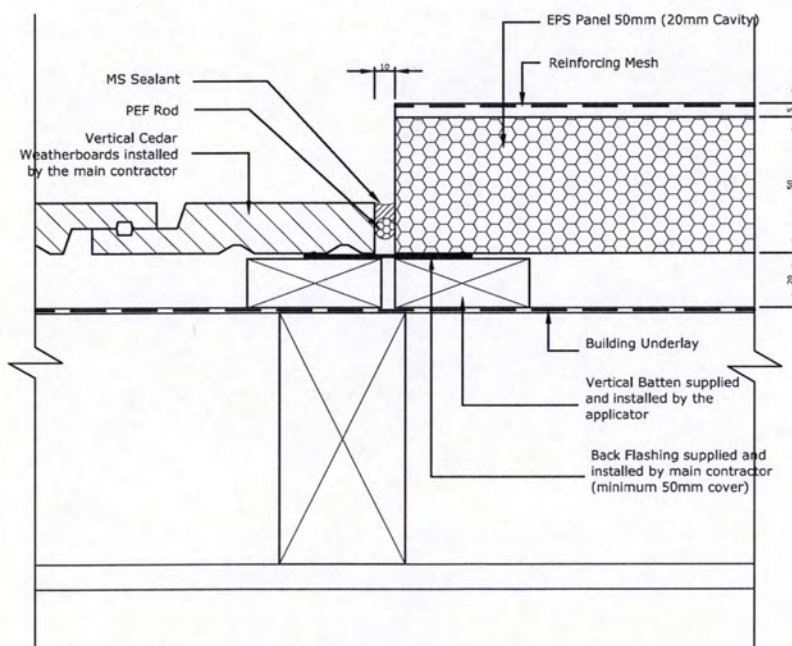
CROSS SECTION B-B
SCALE 1:50



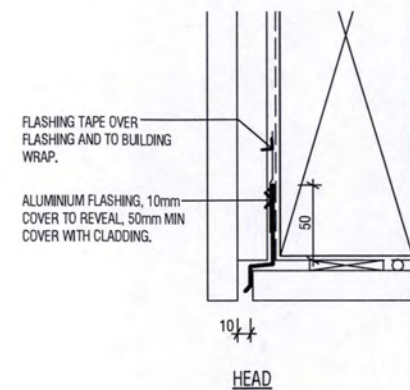
CROSS SECTION C-C
SCALE 1:50



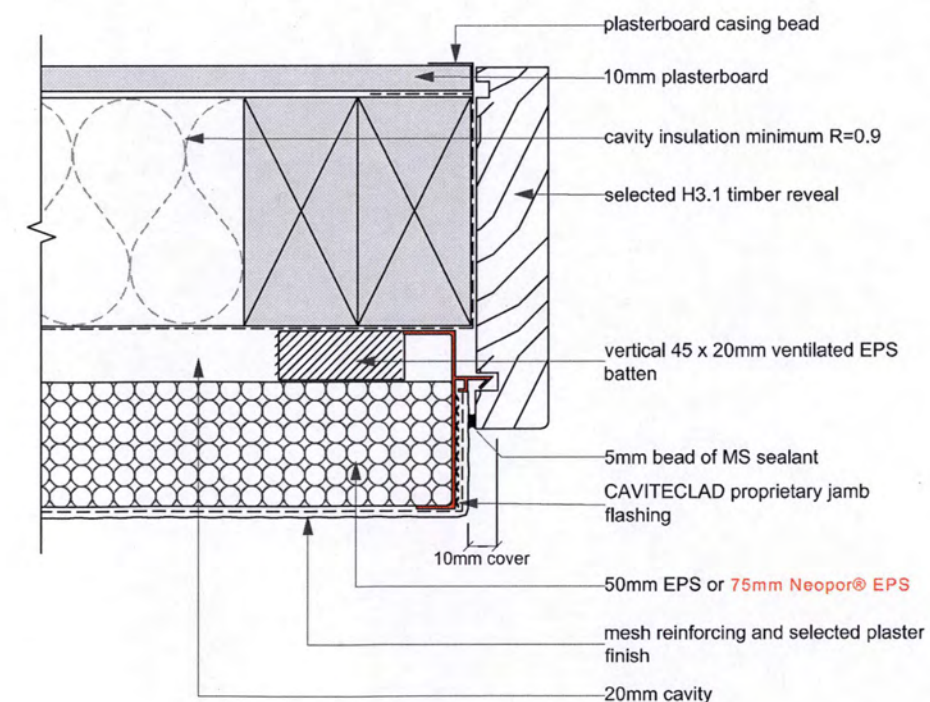
D01 FOUNDATION DETAIL
SCALE 1:5



D01a EPS CEDAR JUNCTION
SCALE 1:6.8286



D01b CEDAR GARAGE HEAD
SCALE 1:5



D01c EPS GARAGE JAMB
SCALE 1:7.3024

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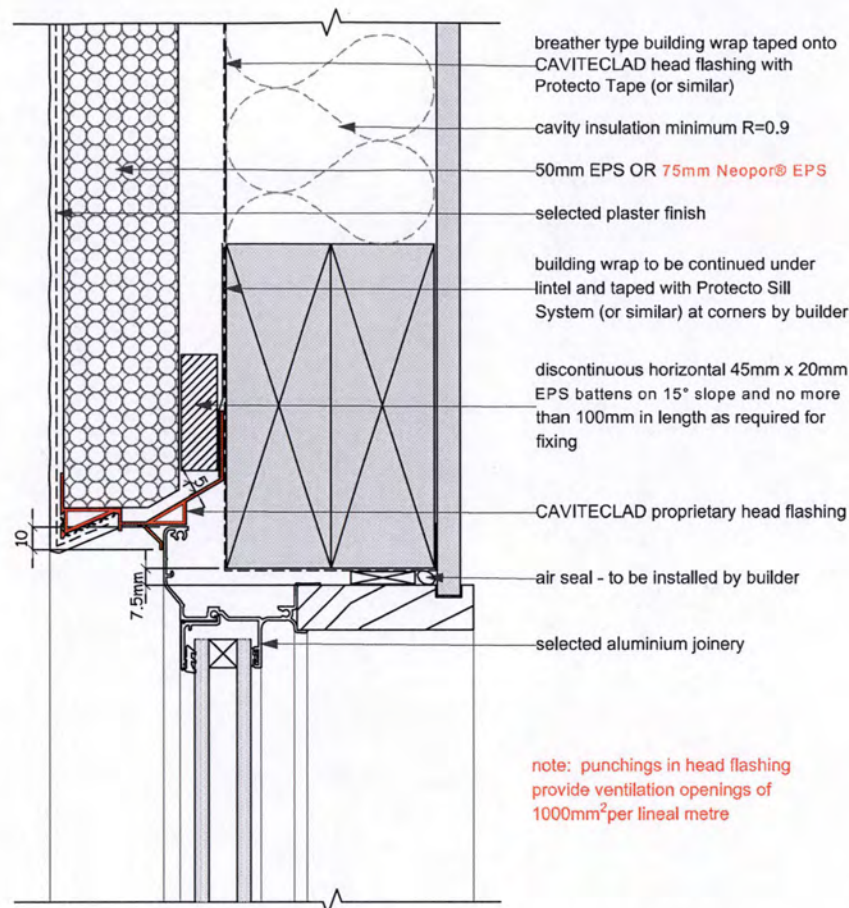
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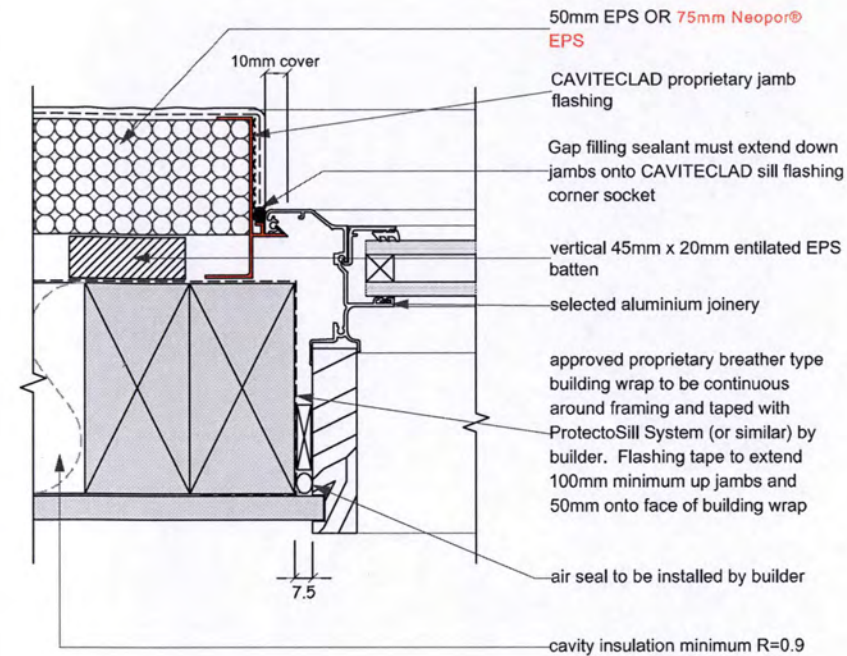
CONSTRUCTION DETAILS

A5-1

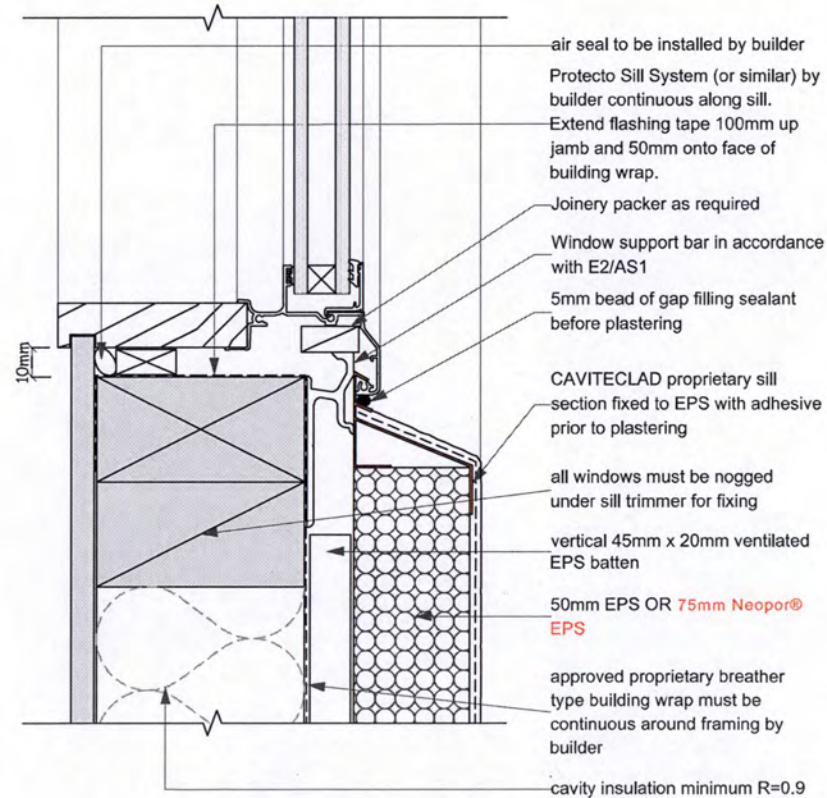
CHECK ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO CONSTRUCTION, REPORT ANY DISCREPANCIES TO THE DESIGNER



D02 EPS HEAD
SCALE 1:1.5816



D04 EPS JAMB
SCALE 1:1.5816



D03 EPS SILL
SCALE 1:1.5816

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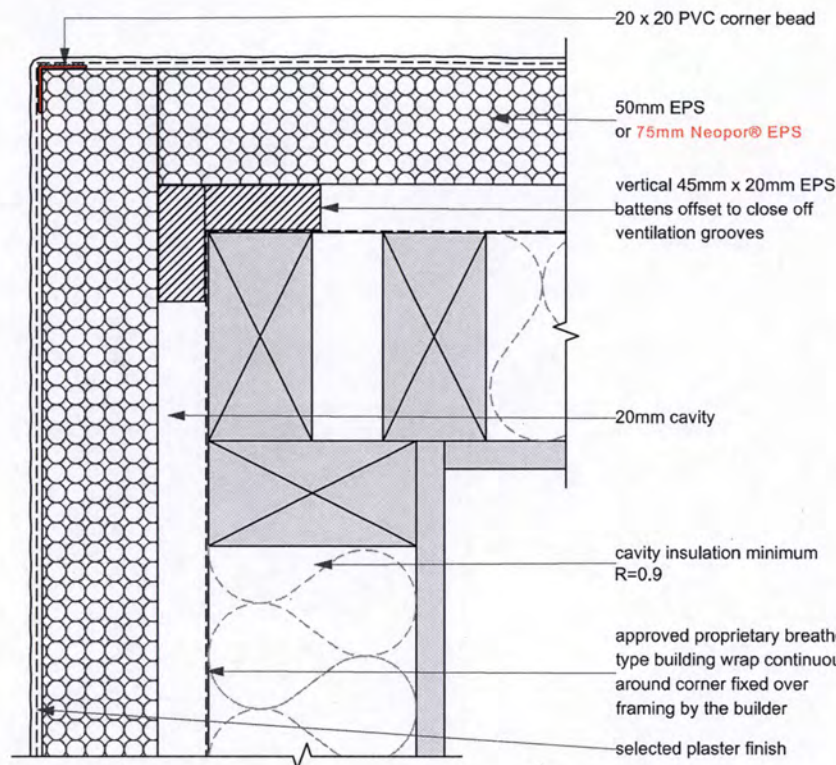
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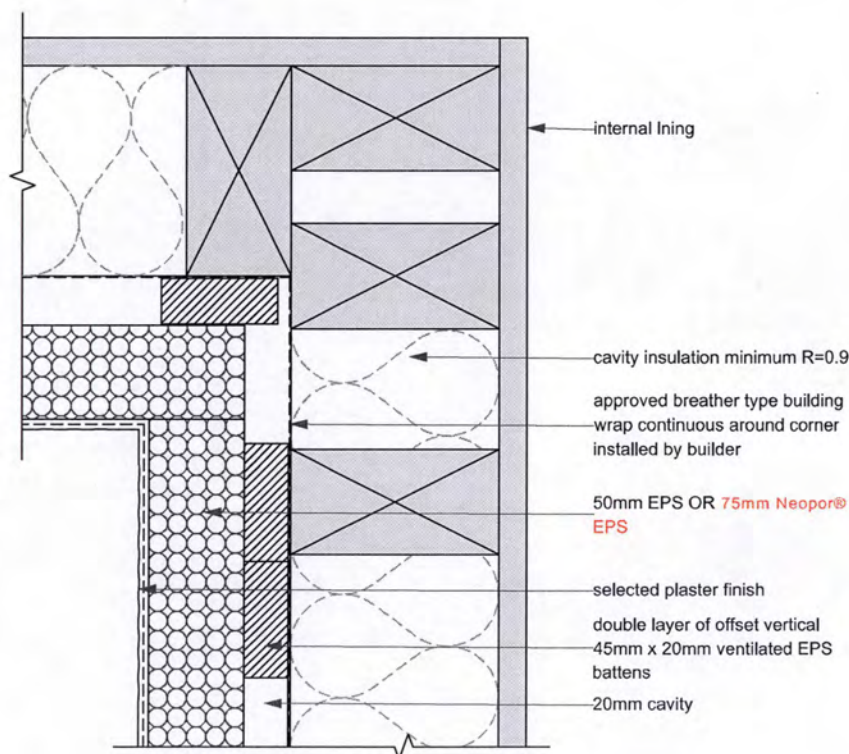
CONSTRUCTION DETAILS

A5-2

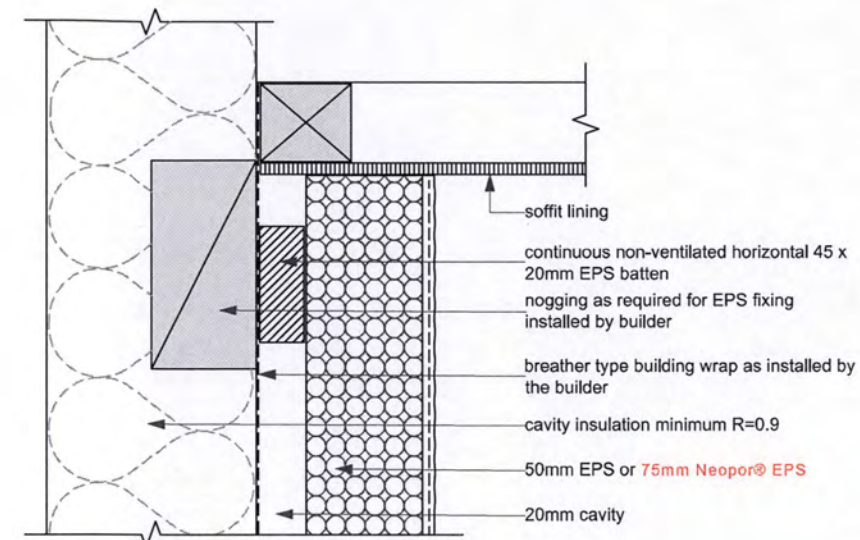
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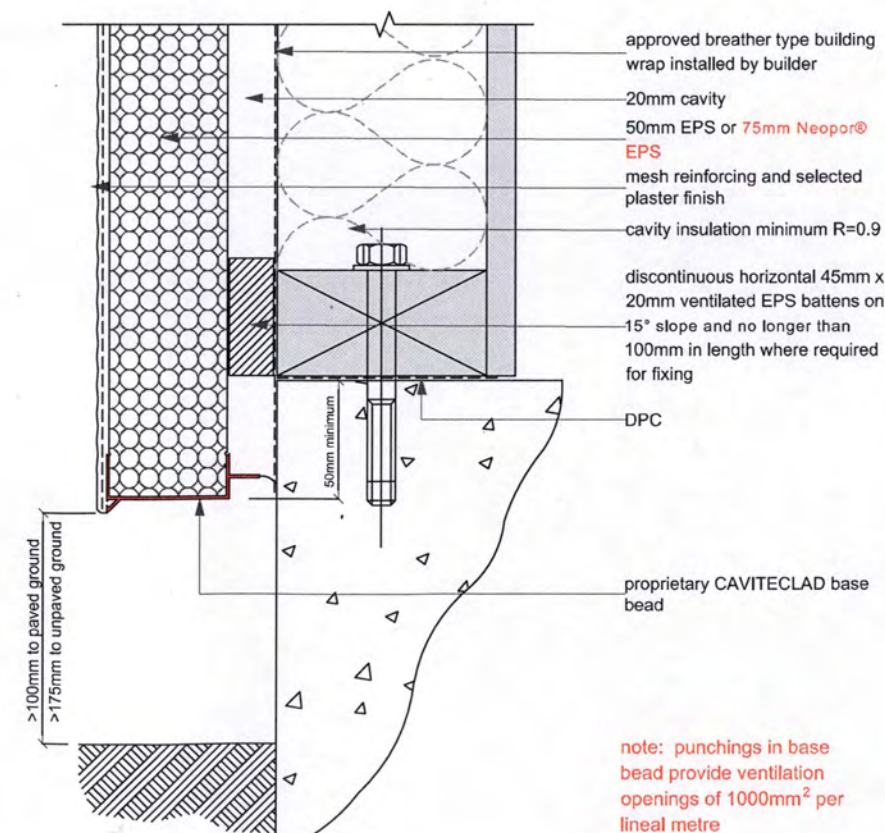
D05 EXTERNAL CORNER
SCALE 1:1.5816



D06 INTERNAL CORNER
SCALE 1:1.5816



D07 EPS SOFFIT
SCALE 1:1.5816



D08 POLY BASE DETAIL
SCALE 1:1.5816

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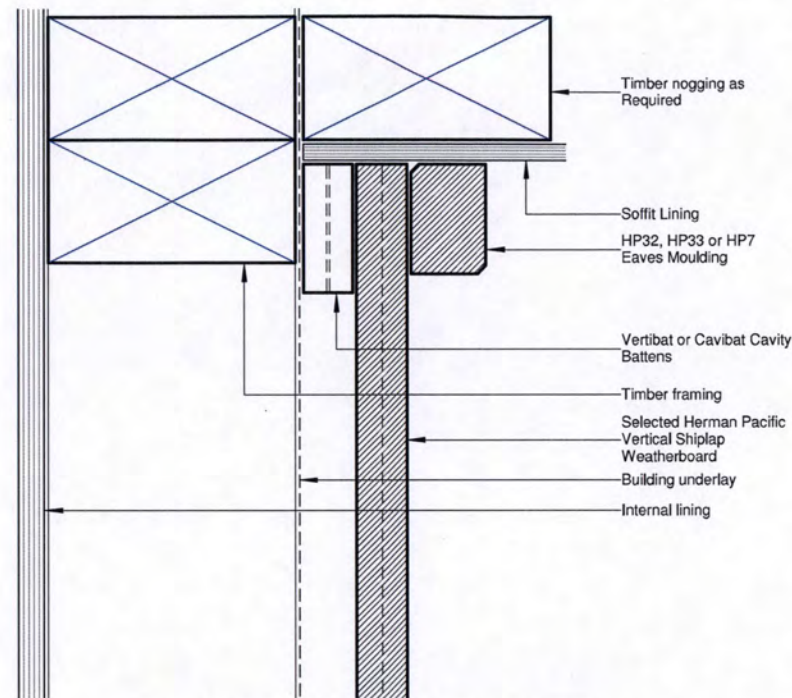
DATE: SCALE: REVISION:
19.11.20 1:1 COUNCIL RFS

DESIGN: DRAWN: CHECKED:
P.R. P.R. P.R.

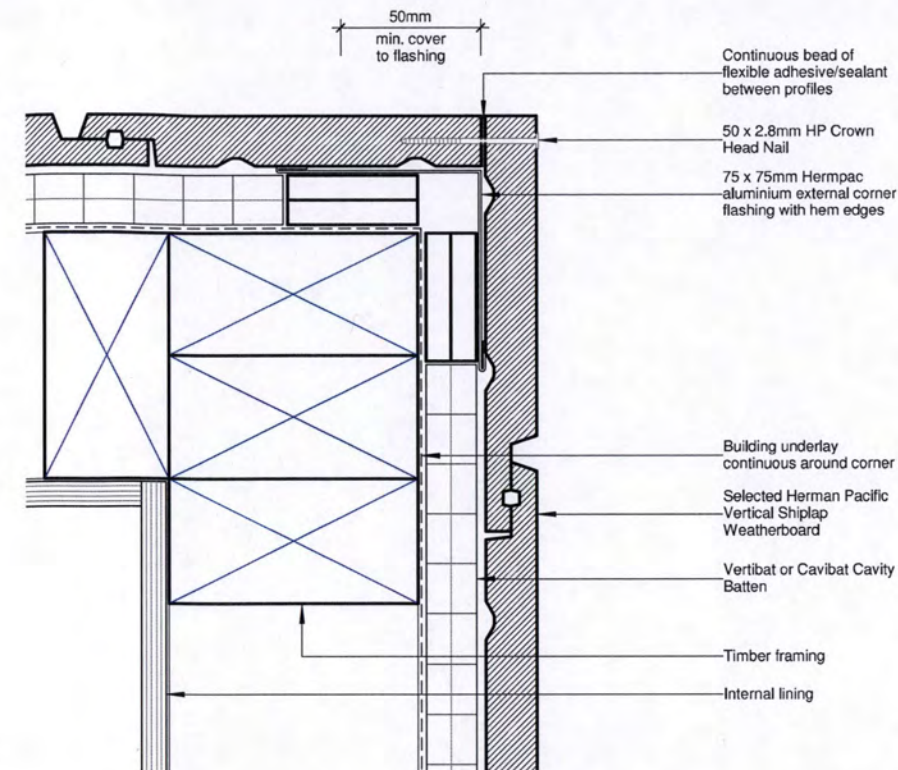
CONSTRUCTION DETAILS

A5-3

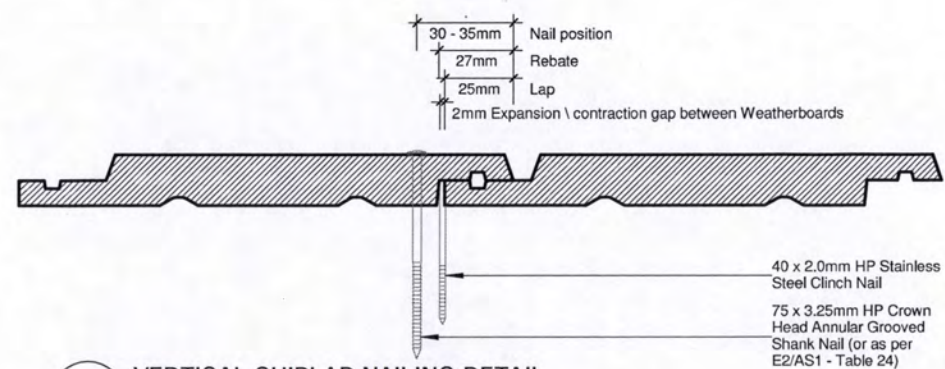
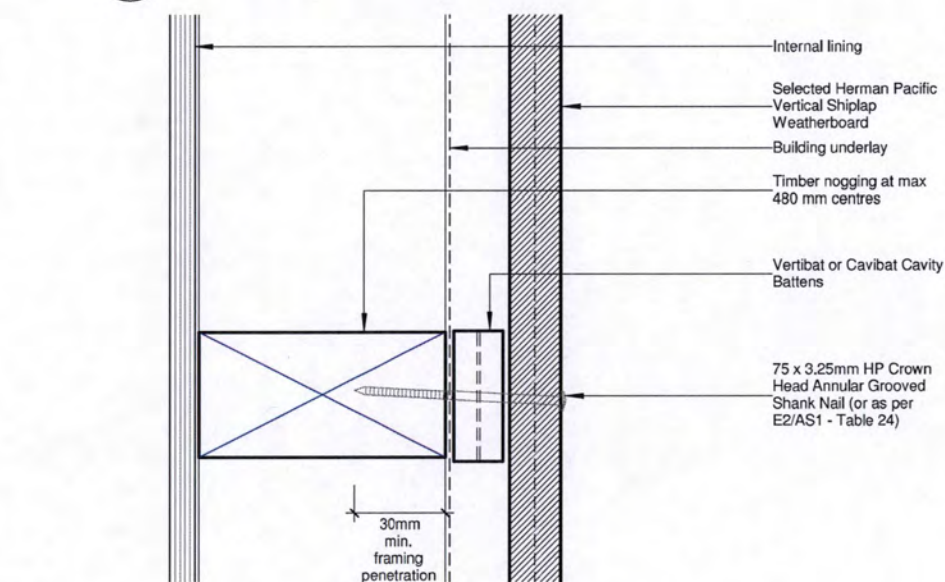
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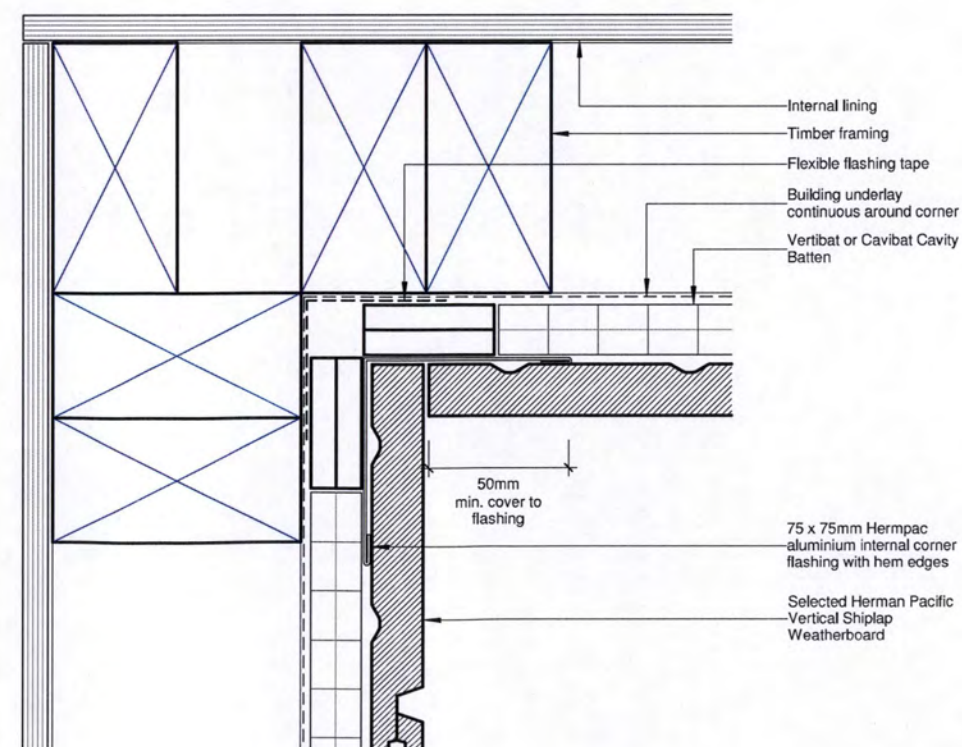
D09 VERTICAL SHIPLAP / SOFFIT JUNCTION



D10 VERTICAL SHIPLAP EXT CORNER DETAIL



D11 VERTICAL SHIPLAP NAILING DETAIL



D12 VERTICAL SHIPLAP INT CORNER

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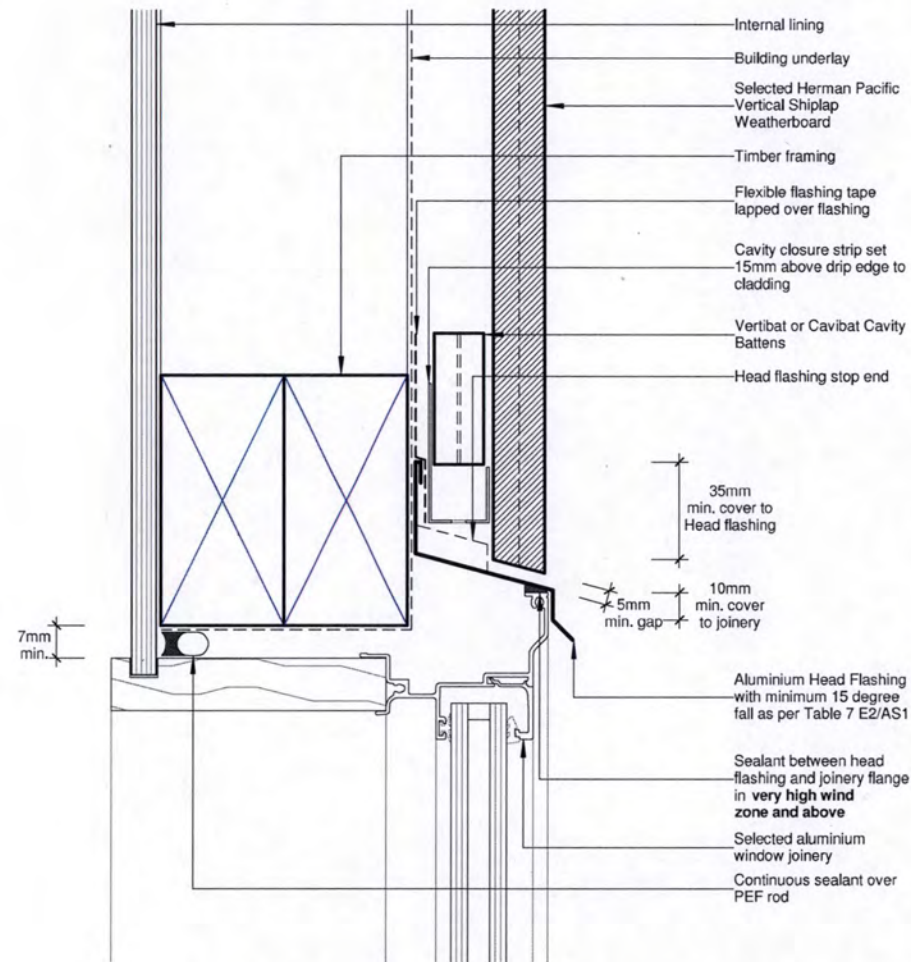
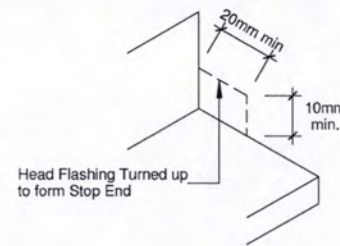
BC 19.11.2020 COUNCIL RFS
REV: DATE: REASON:
FORSMAN & JAMIESON
NEW RESIDENCE
30B REDWOOD CRES, NP
JOB: 2159
DATE: 19.11.20 SCALE: 1:1 REVISION: COUNCIL RFS
DESIGN: P.R. DRAWN: P.R. CHECKED: P.R.
BUILDING CONSENT

CONSTRUCTION DETAILS

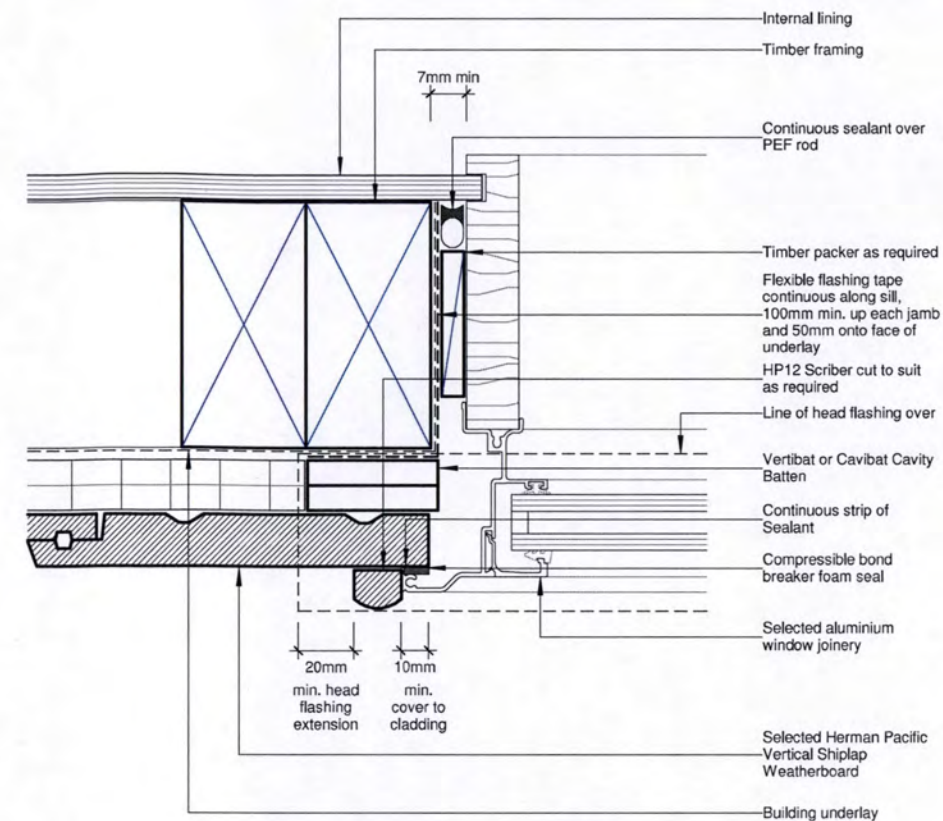
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CHECK ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO CONSTRUCTION, REPORT ANY DISCREPANCIES TO THE DESIGNER

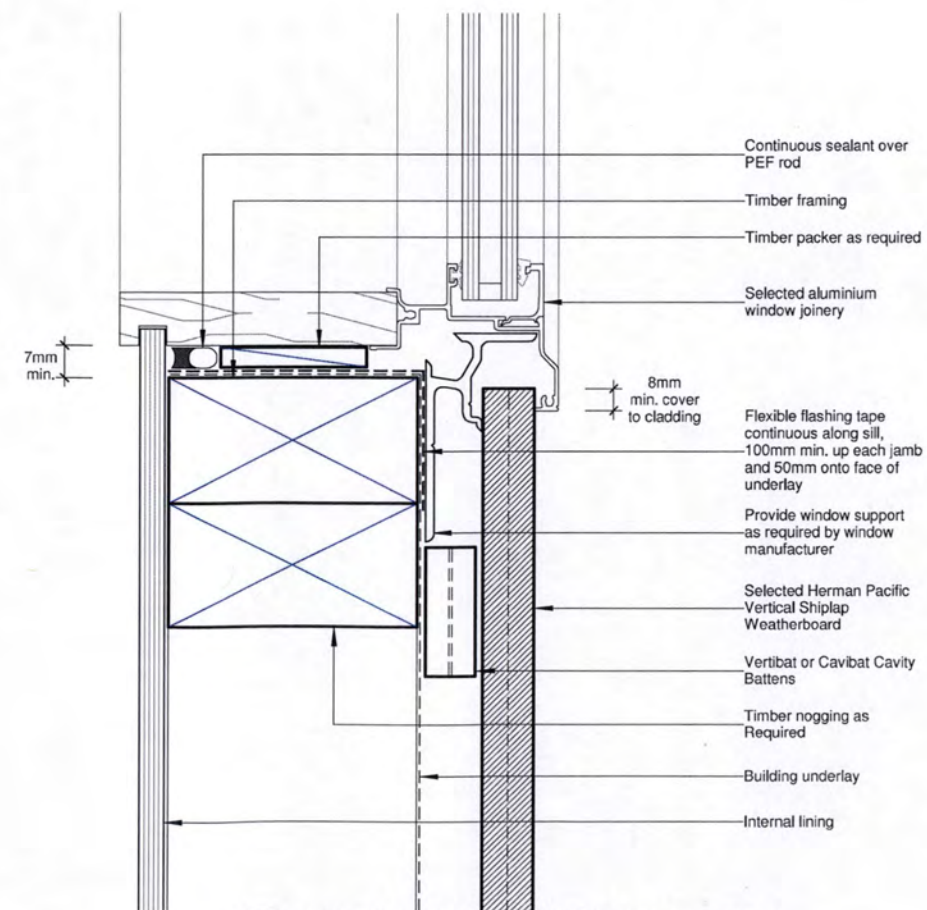
- Notes:
- All nail fixings pre-drilled minimum 1mm diameter smaller than the nail gauge.
 - All HermanPacific timber products to be pre-coated & cut ends and edges and all fresh cut surfaces double coated and sealed before fixing.
 - All materials and fixtures are to comply with E2/AS1 Clause 2.2
 - For non-hemmed corner flashings, ensure a minimum 75mm cover to weatherboards beyond the point where BRANZ bulletin 411 compliant weatherboard lap or rebate combinations terminate at the corner junction. In Extra High Wind Zone and above, the 75mm cover requirement remains and hemmed edges must also be used.



D13 VERTICAL SHIPLAP HEAD DETAIL



D14 VERTICAL SHIPLAP JAMB DETAIL



D15 VERTICAL SHIPLAP WINDOW SILL DETAIL

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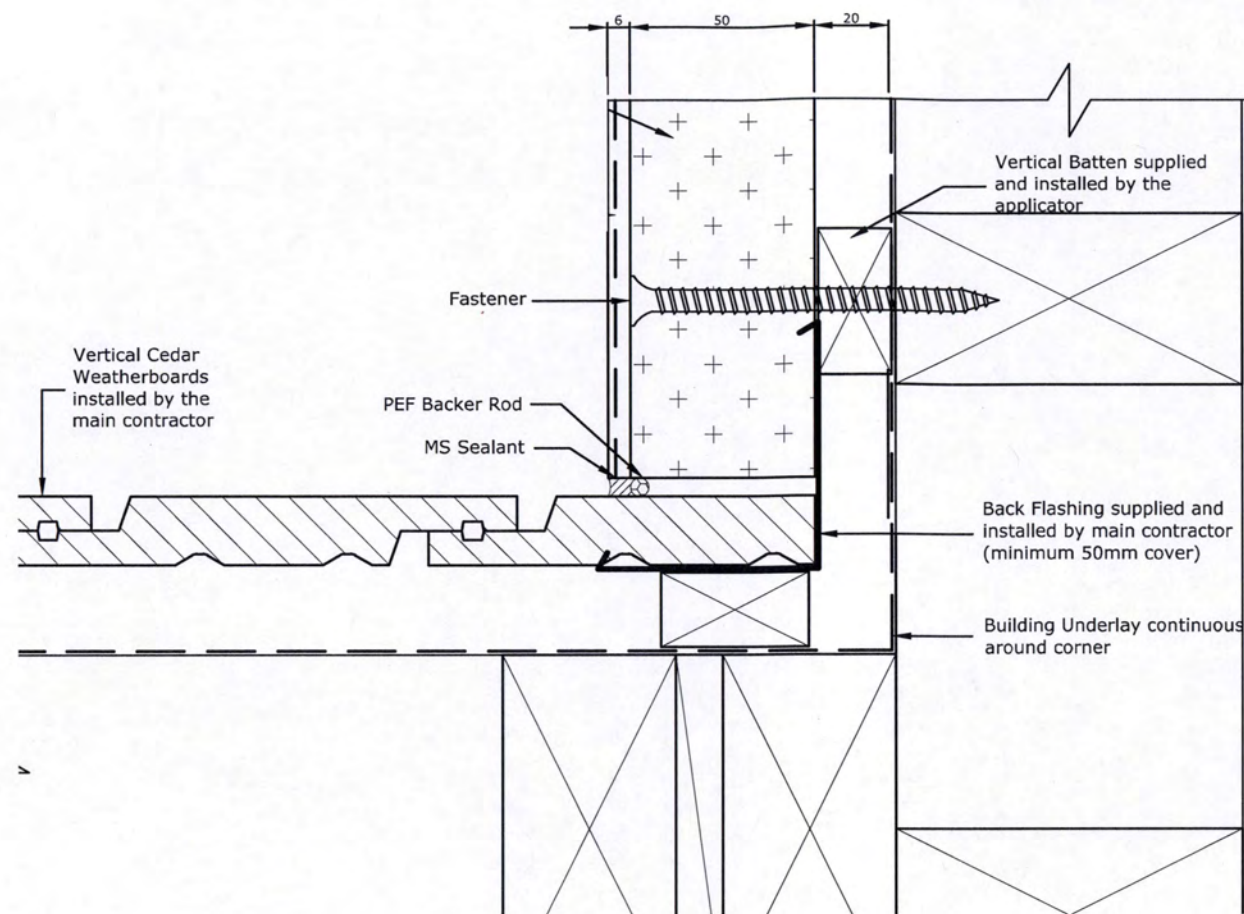
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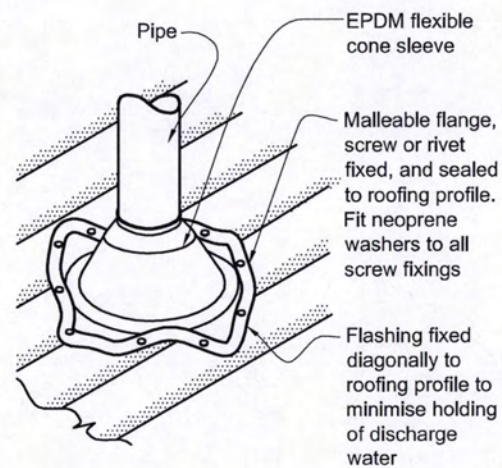
CONSTRUCTION DETAILS

A5-5

CHECK ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO CONSTRUCTION, REPORT ANY DISCREPANCIES TO THE DESIGNER



D16 EPS / CEDAR INTERNAL DETAIL
SCALE 1:5



NOTE:
(1) Max. roof pitch for this flashing 45°, minimum pitch 10° if base of flange covers one or more complete troughs.
(2) For pipes up to 85 mm diameter.

D17 PIPE PENETRATION DETAIL

CHECK ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO CONSTRUCTION, REPORT ANY DISCREPANCIES TO THE DESIGNER

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JOB:	DESIGN:	DRAWN: CHECKED:
2159	P.R.	P.R. P.R.
	BUILDING	CONSENT

CONSTRUCTION DETAILS

A5-6

GIB EzyBrace® Systems specification GS1-N

Specification code	Minimum length (m)	Lining requirement
GS1-N	0.4	Any 10mm or 13mm GIB® Standard plasterboard to one side only

WALL FRAMING

Wall framing to comply with;

- NZBC B1 — Structure B1/AS1 Clause 3 Timber (NZS 3604:2011).
- NZBC B2 — Durability B2/AS1 Clause 3.2 Timber (NZS 3602).

Framing dimensions and height as determined by NZS 3604:2011 stud and top plate tables for load bearing and non-bearing walls. The use of kiln dried stress graded timber is recommended.

BOTTOM PLATE FIXING

Timber floor

Pairs of hand driven 100 x 3.75mm nails at 600mm centres; or three power driven 90 x 3.15mm nails at 600mm centres.

Concrete floor

Internal Wall Bracing Lines: In accordance with the requirements of NZS 3604:2011 for internal wall plate fixing or 75 x 3.8mm shot fired fasteners with 16mm discs spaced at 150mm and 300mm from end studs and 600mm centres thereafter.

External Wall Bracing Lines: In accordance with the requirements of NZS 3604:2011 for external wall bottom plate fixing.

WALL LINING

- Any 10mm or 13mm GIB® plasterboard lining.
- Sheets can be fixed vertically or horizontally.
- Sheet joints shall be touch fitted.
- Use full length sheets where possible.

PERMITTED ALTERNATIVES

For permitted GIB® plasterboard alternatives refer to p. 5 in GIB EzyBrace® Systems literature.

FASTENING THE LINING

Fasteners

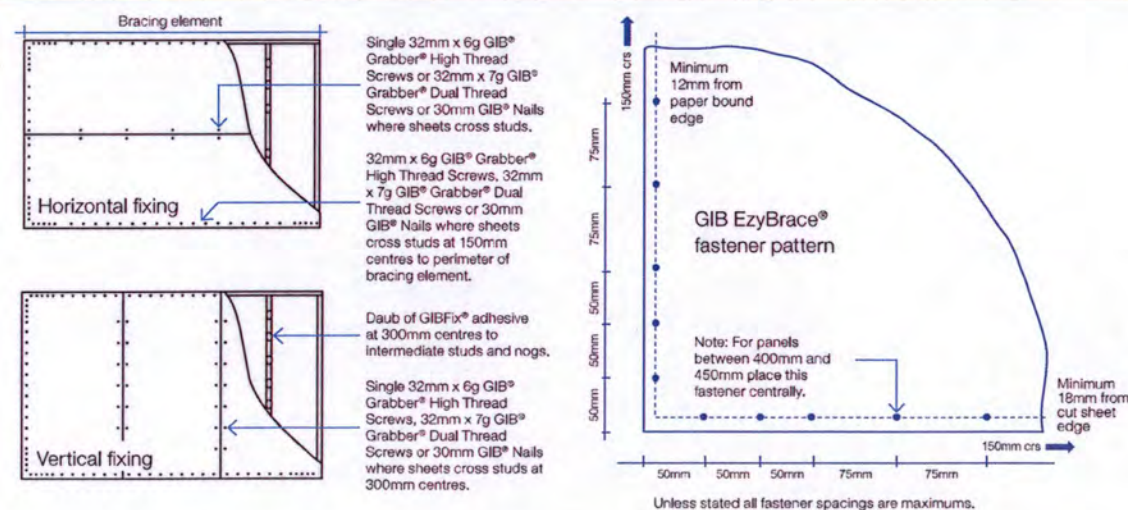
32mm x 6g GIB® Grabber® High Thread Screws, 32mm x 7g GIB® Grabber® Dual Thread Screws or 30mm GIB® Nails. If using the GIBFix® Angle use only 32mm x 7g GIB® Grabber® Dual Thread Screws.

Fastener centres

50,100,150, 225, 300mm maximum from each corner and 150mm thereafter around the perimeter of the bracing element. For vertically fixed sheets place fasteners at 300mm maximum centres to intermediate sheet joints. For horizontally fixed sheets place single fasteners to the sheet edge where it crosses the stud. Use daubs of GIBFix® adhesive at 300mm maximum centres to intermediate studs. Place fasteners no closer than 12mm from paper bound sheet edges and 18mm from any sheet end or cut edge.

JOINTING

Joint strength is important in delivering bracing system performance. All fastener heads stopped and all sheet joints GIB® Joint Tape reinforced and stopped in accordance with the GIB® Site Guide.



GIB EzyBrace® Systems specification BL1-H

Specification code	Minimum length (m)	Lining requirement	Other requirements
BL1-H	0.4	10mm or 13mm GIB Braceline® to one side only	Hold downs

WALL FRAMING

Wall framing to comply with;

- NZBC B1 — Structure B1/AS1 Clause 3 Timber (NZS 3604:2011).
- NZBC B2 — Durability B2/AS1 Clause 3.2 Timber (NZS 3602).

Framing dimensions and height as determined by NZS 3604:2011 stud and top plate tables for load bearing and non-bearing walls. The use of kiln dried stress graded timber is recommended.

BOTTOM PLATE FIXING

Timber floor

Use panel hold downs at each end of the bracing element. The GIB HandiBrac® is recommended. See details in GIB EzyBrace® Systems or GIB® Site Guide.

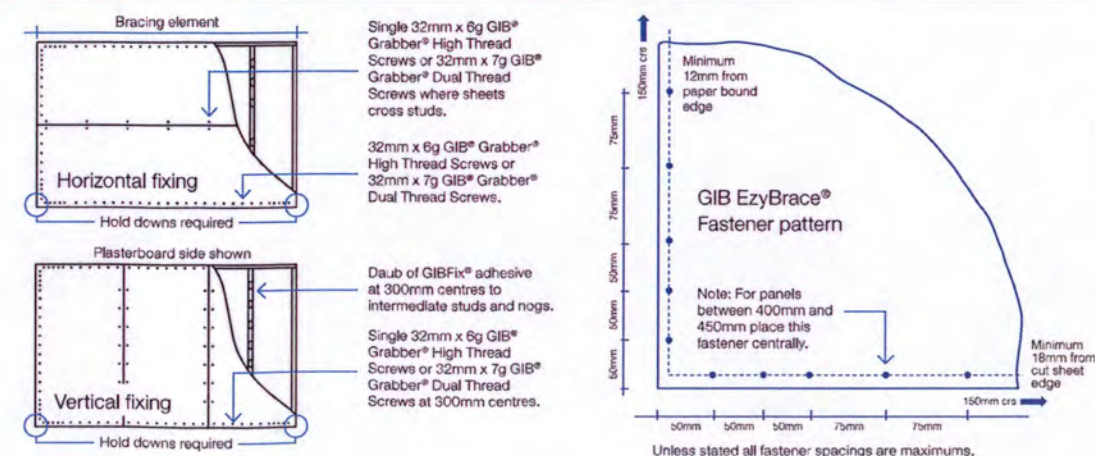
Pairs of hand driven 100 x 3.75mm nails at 600mm centres; or Three power driven 90 x 3.15mm nails at 600mm centres.

Concrete floor

Use panel hold downs at each end of the bracing element. The GIB HandiBrac® is recommended. See details in GIB EzyBrace® Systems or GIB® Site Guide. Within the length of the bracing element bottom plates are to be fixed in accordance with the requirements of NZS 3604:2011.

WALL LINING

- A layer of 10mm or 13mm GIB Braceline®
- Sheets can be fixed vertically or horizontally.
- Sheet joints shall be touch fitted.
- Use full length sheets where possible.



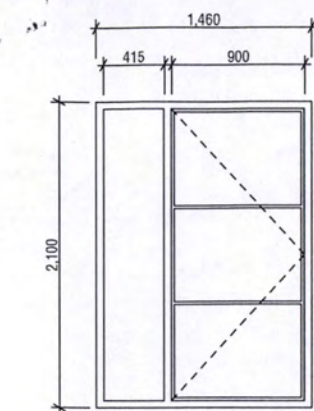
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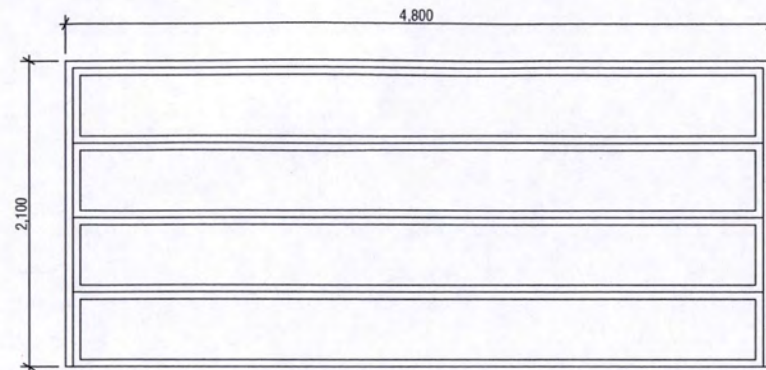
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30B REDWOOD CRES, NP
JOB: 2159
BUILDING CONSENT

CONSTRUCTION DETAILS

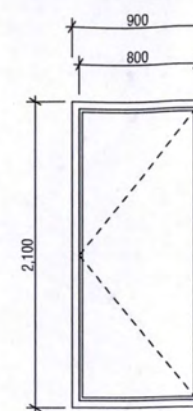
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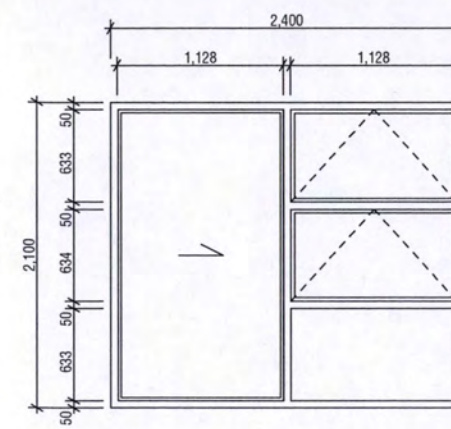
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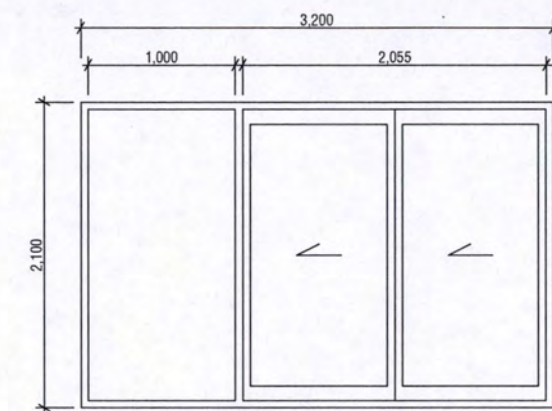
D02



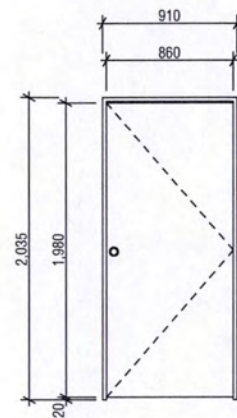
D03



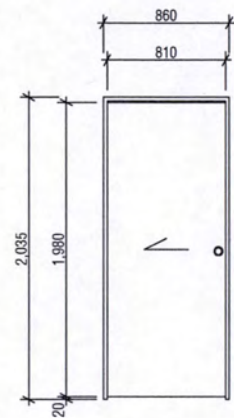
D04, D05, D06



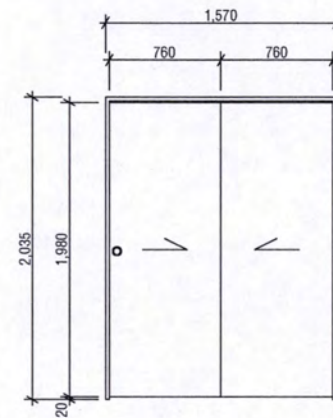
as shown; (D07); handed (D08)



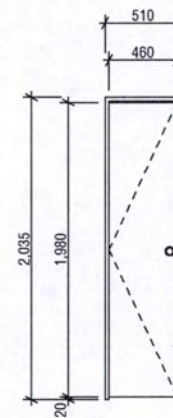
as shown; (D09, D10); handed (D13, D15, D19, D21)



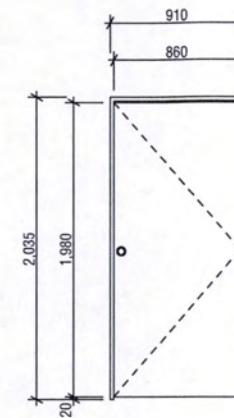
as shown; (D10, D18); handed (D17)



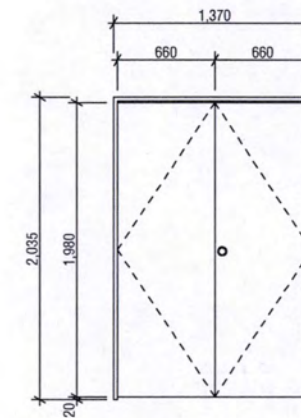
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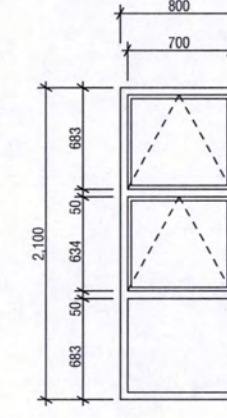
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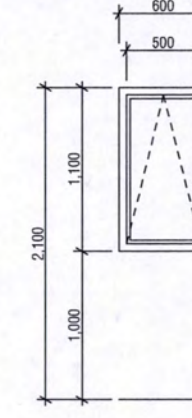
D16



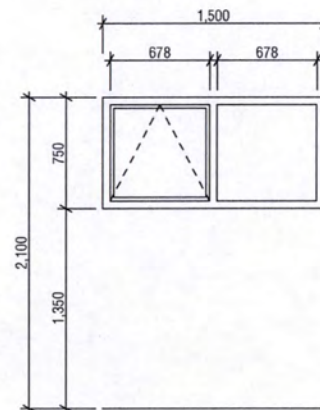
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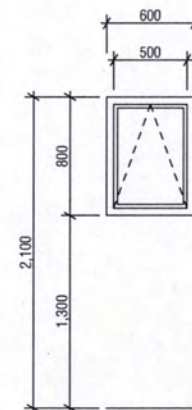
W01, W02, W03, W04



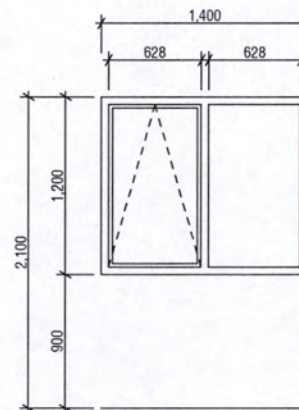
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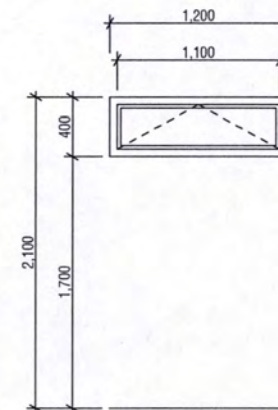
W07



W08, W11



W09



W10

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DATE: 19.11.20 SCALE: 1:50 REVISION: COUNCIL RFS
DESIGN: DRAWN: CHECKED: P.R. P.R. P.R.
BUILDING CONSENT

DOOR & WINDOW
SCHEDULE

A6-1

CHECK ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO CONSTRUCTION, REPORT ANY DISCREPANCIES TO THE DESIGNER

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CONSENT

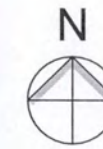


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DATE	REV	REV RECORD	BY	CHD	VER	APP

Project	RESIDENTIAL BUILDING FOUNDATION AND RETAINING WALL REMEDIAL WORKS 30B REDWOOD CRESCENT NEW PLYMOUTH
---------	--

Job No. 3908	Sheet No. S0-1
-----------------	-------------------

A3
EV.
A



30B REDWOOD CRESCENT
NEW PLYMOUTH
LOT 25
DP 403872

PROPOSED DWELLING

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SITE LOCATION PLAN

1:500

CONSENT



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Client
MARK WILSON

Project
RESIDENTIAL BUILDING FOUNDATION AND
RETAINING WALL REMEDIAL WORKS
30B REDWOOD CRESCENT
NEW PLYMOUTH

Sheet Title
SITE LOCATION

Drawing No. 400-494	A3
Job No. 3908	REV. A
Sheet No. S0-2	

General

- The structural design covers the house foundations and slab and strengthening to existing timber pole retaining wall to the East of the site.
- Refer Architectural drawings by Landmark Homes ref 2159 for setout details
- These specifications shall take precedence unless otherwise advised by the Design Engineer
- Advise Design Engineer of any changes in the existing construction and/or ground conditions to that shown or implied on the plans and obtain decision before proceeding further
- Comply with Contractors HSE Plan
Comply with Health & Safety in Employment Act & Regulations
Maintain safe site and work practices at all times
- Obtain comprehensive insurance cover for the work including protection of adjacent land and buildings as appropriate.
- All work and materials shall comply with the Building Act & Regulations.
- Obtain Building Consent as required, call for all scheduled inspections and final inspection for Code of Compliance on completion.
- Check all dimensions and levels on site before starting construction work
Refer Architectural dimensioning for layout and levels
Refer Engineering dimensioning for details
- Sequencing of the work is by the Contractor unless specifically given here

Basis of Design

1. Loadings	AS/NZS 1170		
2. Building Category	IL = 2	Design Life	50 years minimum
3. Seismic Hazard	Z = 0.18	Return Period	1/500
4. Wind Loading	N/A		
Live Loadings	House	1.5 kPa	& 1.8 kN
	Garage	2.5 kPa	& 13 kN

Design Producer Statement

I believe on reasonable grounds that;

- the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code, and that
- the persons who have undertaken the design have the necessary competency to do so.

Red Jacket Ltd holds a current policy of Professional Indemnity Insurance no less than \$200,000.*
This producer statement shall only be relied upon by the Building Consent Authority named above
Liability under this statement accrues to Red Jacket Ltd only.

The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise, including negligence, is limited to the sum of \$200,000.*

Refer to Guidance Notes of Engineering New Zealand website www.engineeringnz.org

Structure

Foundations

- Pile design based on bored concrete piles founded through the existing soft fill material into the underlying firm subsoil layers at the site.
- Final depth of piles shall be confirmed following on-site inspection by an engineer during construction.
- Piles shall be located within 50mm position

Imported certified fill - granular material

The contractor shall import and compact all structural granular fill material to the levels and grades shown on the construction drawings.
All structural fill shall be compacted in layers of no more than 150 mm and compacted in accordance with TNZ B/02 to achieve an average 95% of maximum dry density (MDD).

Concrete

Refer Concrete Specification sheet S0-4

Timber

- Timber Construction to NZS 3604 UNO
- Timber treatments to NZS 3602

Treat all timber cuts with 'Metalex' or similar preservative

- Laminated timber manufacture to NZS 3606
- Ground Contact

H5	Poles	Normal Density 350 kg/m3
H4	Boards	High Density 450 kg/m3

External above ground
Exterior Framing

- All bolts and coach screws shall have square washers to timber for;

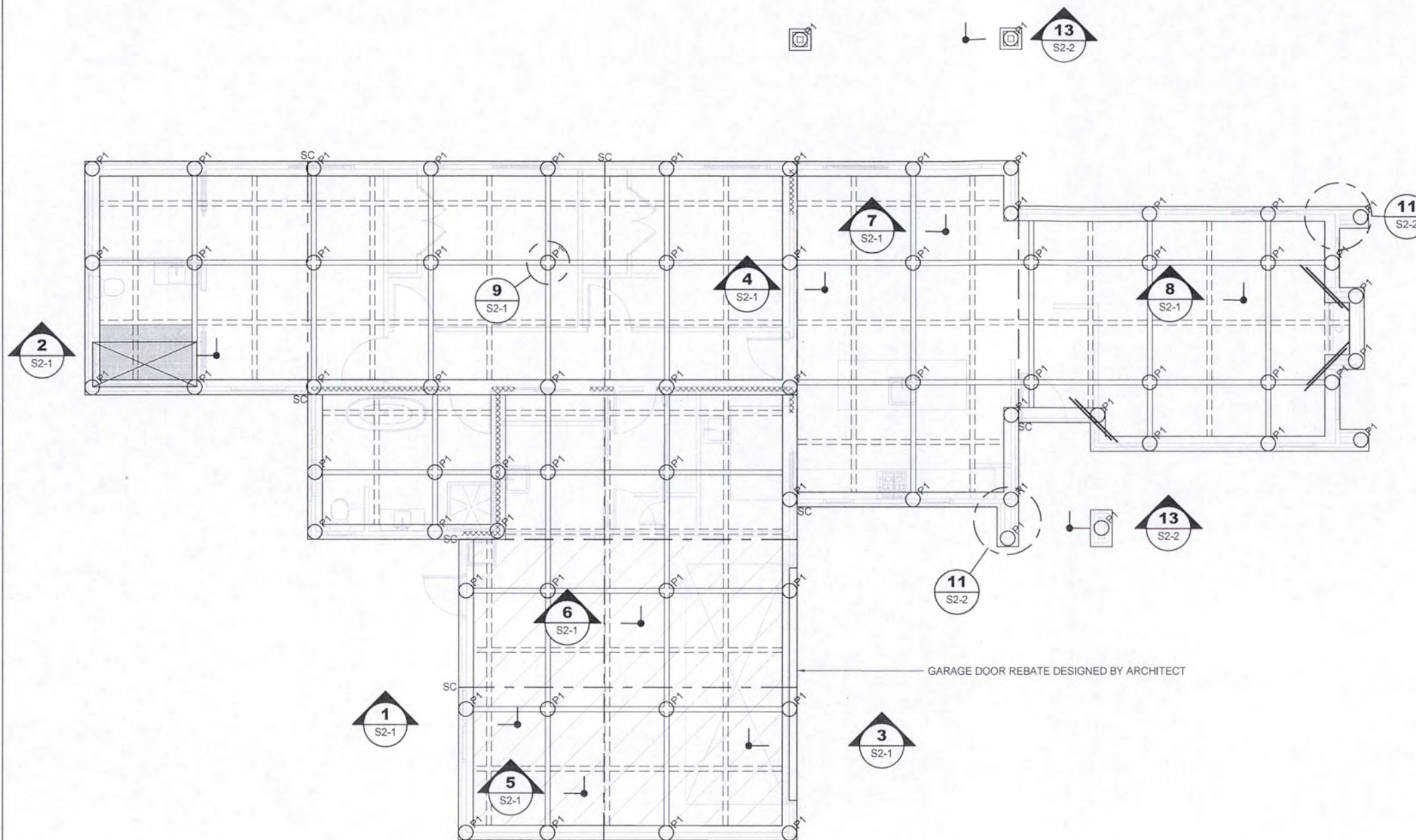
M6, M8	20x20x1.5
M10, M12	35x35x3
M16, M20	50x50x4

 - Stainless steel to NZS3604 for all exterior locations and timber treatment H3.2 or greater
 - Hot Dip Galvanised for interior locations and timber H1.2 or less

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CONSENT

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											Job No. 3908		Sheet No. S0-3	REV.
	30.09.20	A	ISSUED FOR CONSENT	MM	NS	GS	AS							
DATE	REV	REV RECORD	RY	CHD	VER	APP								



LEGEND

- SECONDARY RIBS RUNNING BETWEEN PRIMARY RIBS REFER DETAILS 6 & 8 / S2-1
- PRIMARY RIBS RUNNING BETWEEN PILES REFER DETAILS 5 & 7 / S2-1
- 300mm MINIMUM WIDTH PERIMETER / LOAD BEARING THICKENING REFER 1 / S2-1
- SC 25mm DEEP SAWCUT
- 2HD12 RE-ENTRANT CORNER STEEL
- 300 DIA DRILLED CONCRETE PILES 600 MINIMUM INTO GOOD GROUND AS CONFIRMED ON-SITE BY ENGINEER
- IDENTIFIED LOAD BEARING WALLS
- 85 SLAB ON 220x1100 SQ. POLYSTYRENE PANELS ON 0.25 DPM, ON SAND BLINDING, ON 100 GAP40, SE62 MESH
- FLOOR SLAB REBATE
- REDUCED POD THICKNESS (170mm THICK)
- REFER TO ARCHITECTURAL FOR ALL OTHER SLAB REBATES AND SERVICE PENETRATIONS
- GARAGE FLOOR POD

SLAB LAYOUT PLAN

1:100

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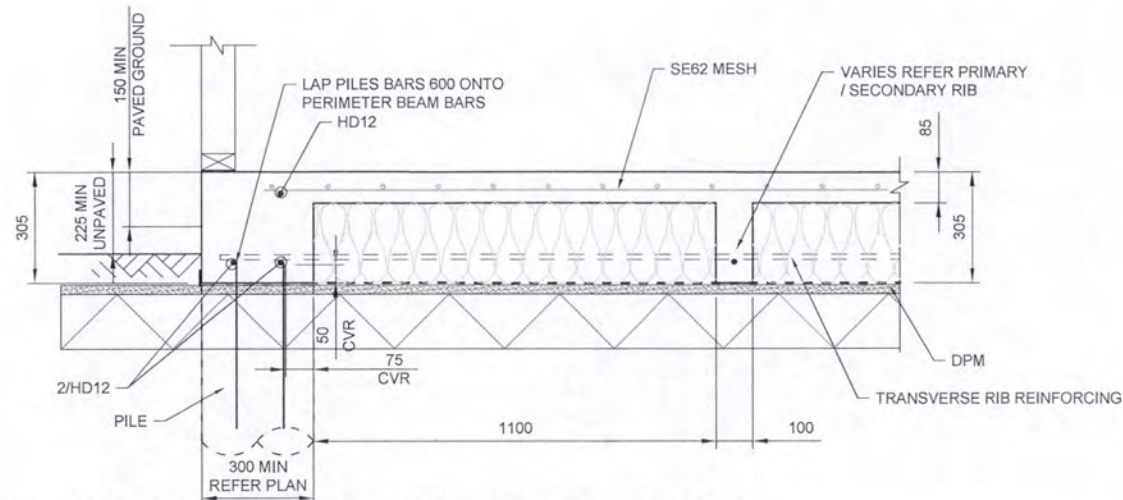
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DATE	REV	REV RECORD	BY	CHD	VER	APP

Client
MARK WILSON

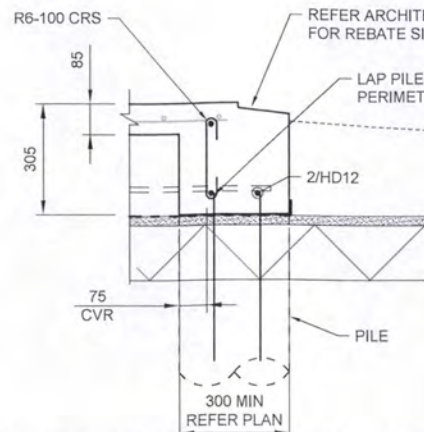
Project
RESIDENTIAL BUILDING FOUNDATION AND
RETAINING WALL REMEDIAL WORKS
30B REDWOOD CRESCENT
NEW PLYMOUTH

Sheet Title
SLAB SETOUT PLAN

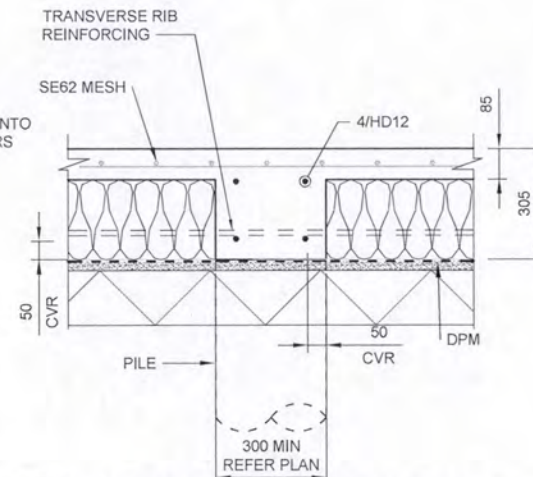
Drawing No.	400-494	A3
Job No.	3908	REV.
Sheet No.	S1-1	A



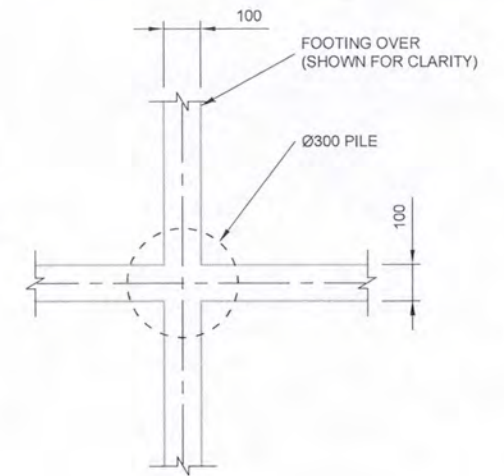
1 TYP. HOUSE PERIMETER FOOTING
S1-1 1:20



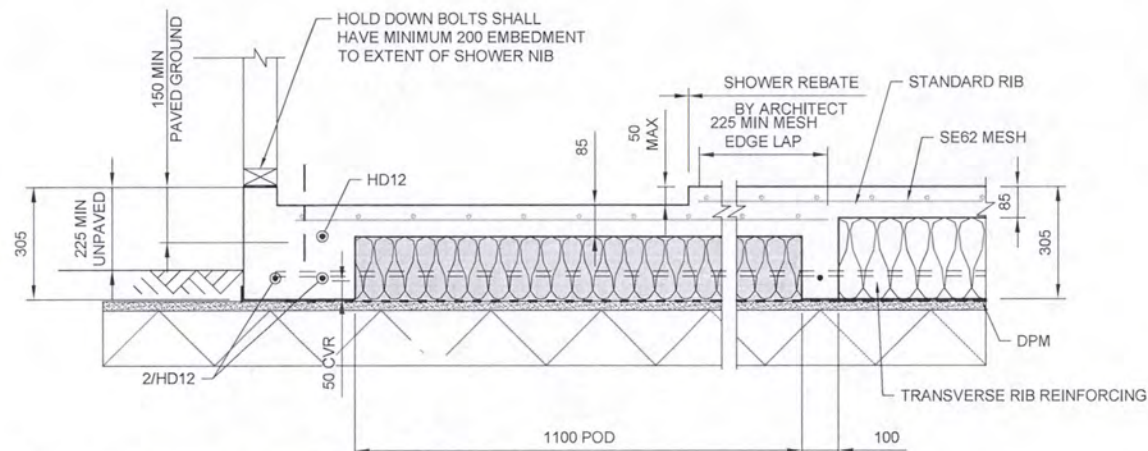
3 GARAGE ENTRY DETAIL
S1-1 1:20



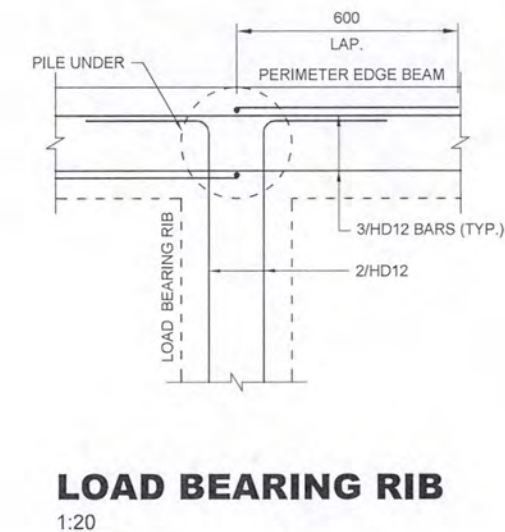
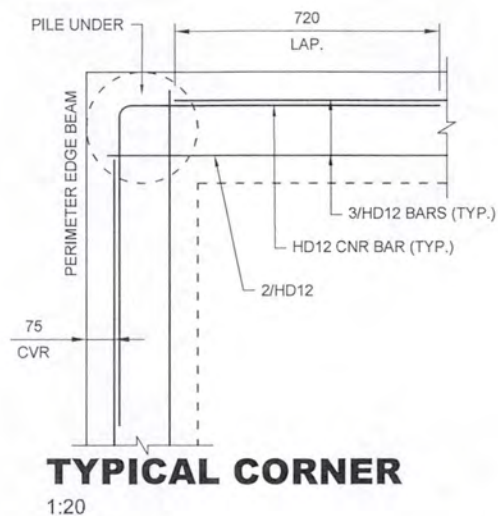
4 LOAD BEARING RIB
S1-1



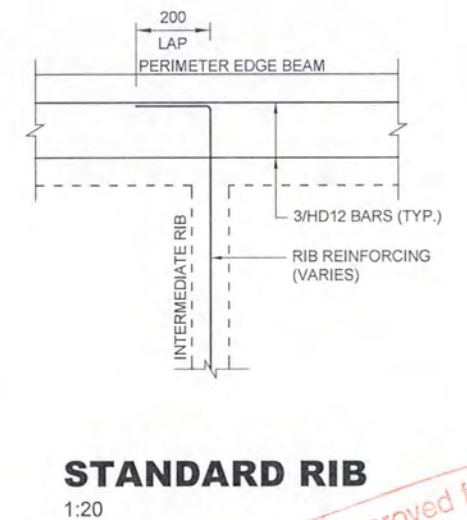
9 PLAN - TYP PILE
S1-1



2 TYP. SHOWER REBATE
S1-1 1:20

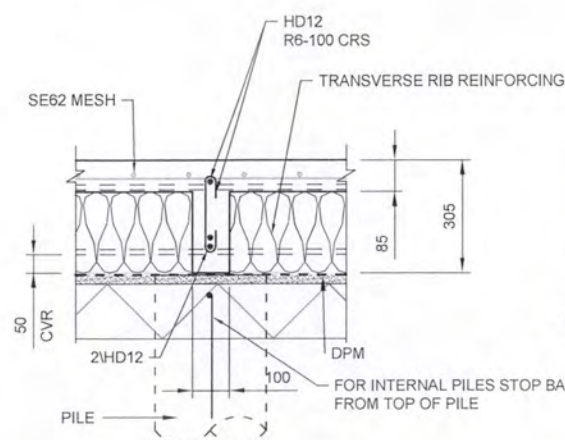


LOAD BEARING RIB
1:20

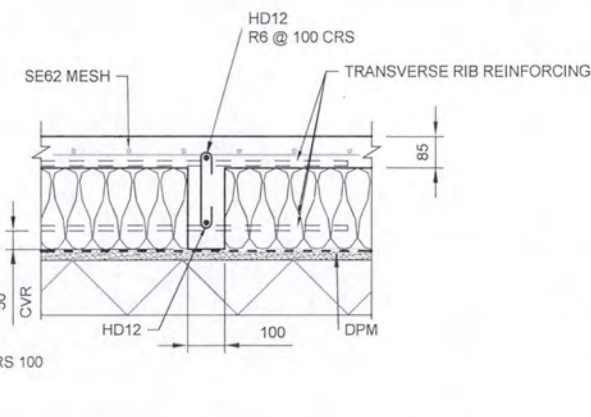


STANDARD RIB
1:20

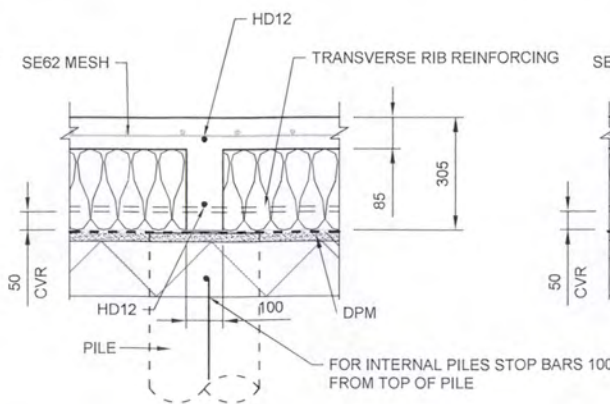
NPDC Approved for
20 NOV 2020
Building Consent



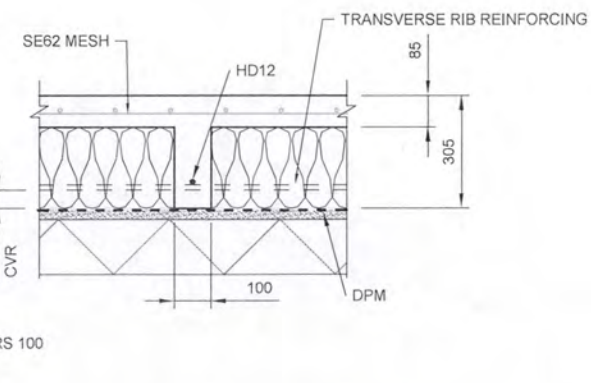
5 GARAGE PRIMARY RIB
S1-1 1:20



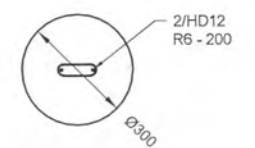
6 GARAGE SECONDARY RIB
S1-1 1:20



7 HOUSE PRIMARY RIB
S1-1 1:20



8 HOUSE SECONDARY RIB
S1-1 1:20



10 PILE
1:20

CONSENT



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DATE	REV	REV RECORD	BY	CHD	VER	APP

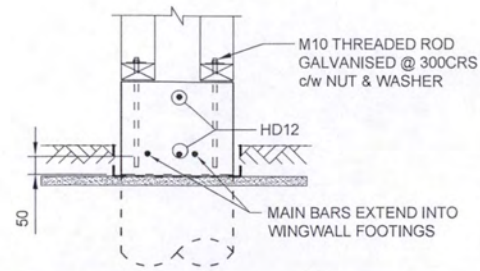
Client
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RESIDENTIAL BUILDING FOUNDATION AND
RETAINING WALL REMEDIAL WORKS
30B REDWOOD CRESCENT
NEW PLYMOUTH

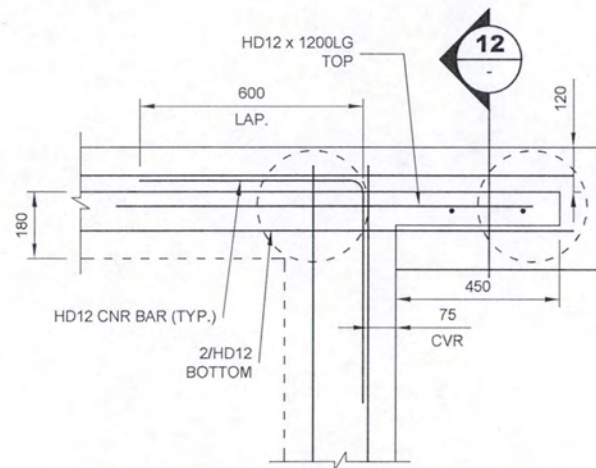
Sheet Title
RIB RAFT TYPICAL DETAILS

Drawing No.
400-494
Job No.
3908
Sheet No.
S2-1

A3
REV.
A



- 12 NIB REINFORCING**
1:20 (SIMILAR REFER TO PLAN)
- 13 NIB REINFORCING**
S1-1 1:20 (SIMILAR REFER TO PLAN)



- 11 WING WALL FOOTING**
S1-1 1:20

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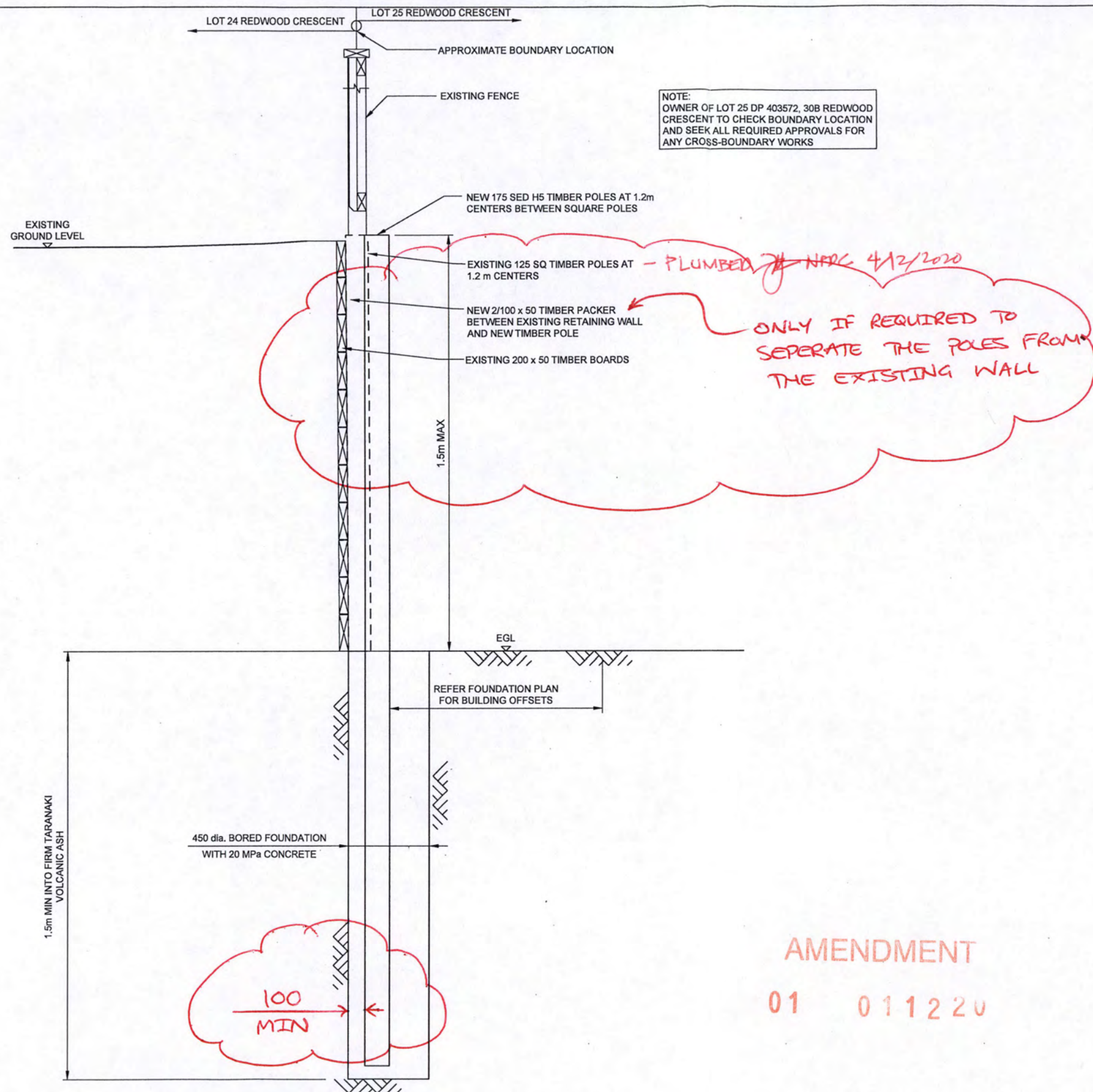
 3 DAVIDSON STREET NEW PLYMOUTH 4310 Ph. 06 759 0999 © COPYRIGHT RED JACKET LTD								Client MARK WILSON	Project RESIDENTIAL BUILDING FOUNDATION AND RETAINING WALL REMEDIAL WORKS 30B REDWOOD CRESCENT NEW PLYMOUTH	Sheet Title RIB RAFT TYPICAL DETAILS	Drawing No. 400-494		A3			
													REV.			
	30.09.20	A	ISSUED FOR CONSENT	MM	NS	GS	AS									
DATE	REV	REV RECORD	BY	CHD	VER	APP								Job No. 3908	Sheet No. S2-2	A

Job No.
3908

Sheet No.
S2-2



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											Job No. 3908	Sheet No. S3-1	REV
	30.09.20	A	ISSUED FOR CONSENT	MM	NS	GS	AS						A
	DATE	REV	REV RECORD	BY	CHD	VER	APP						



14 TYPICAL SECTION
S3-1 1:10

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30/11/20 B

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Client
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RETAINING WALL REMEDIAL WORKS
30B REDWOOD CRESCENT
NEW PLYMOUTH

Sheet Title
**RETAINING WALL TYPICAL
DETAILS**

Drawing No. 400-494	A3
Job No. 3908	Sheet No. S3-2
	REV. A

THESE PLANS HAVE BEEN

SUPERSEDED

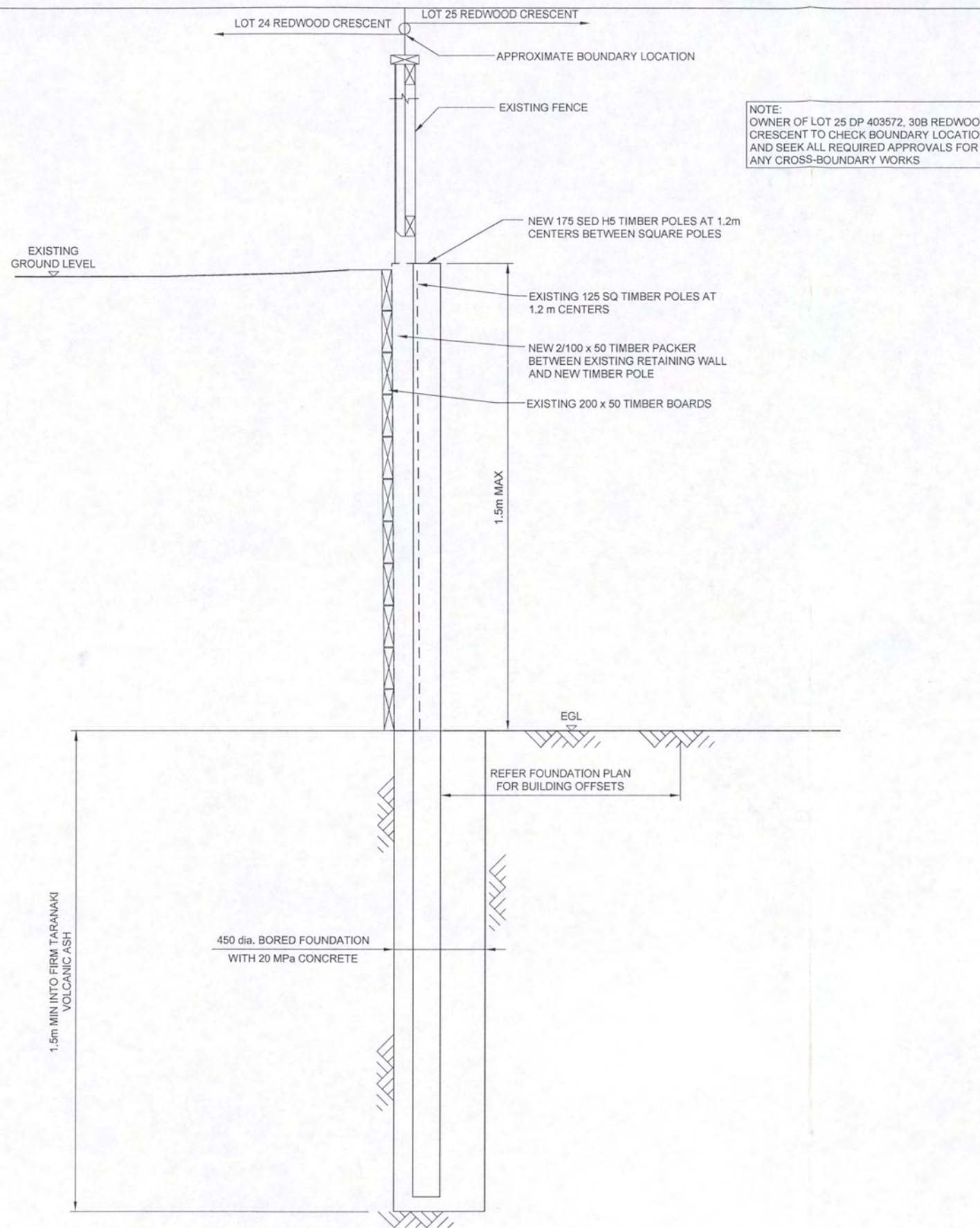
REPLACEMENT PLANS WILL BE IN
THE APPROVED OFFICE COPY.

BC: 20/127347 ADDRESS: 303 REDWOOD CRESCENT, N.P.

Amendment No & Date of Amendments that these superseded plans relates to are:

- | | |
|--------------|-----|
| 1. | 6. |
| 01 011220 | |
| 2. AMENDMENT | 7. |
| 127347 - 01 | |
| 3. | 8. |
| | |
| 4. | 9. |
| | |
| 5. | 10. |

THESE ARE TO BE **KEPT AND
SCANNED** AT THE END OF THE
PROJECT FOR FUTURE REFERENCE



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14 TYPICAL SECTION
S3-1 1:10

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Project
RESIDENTIAL BUILDING FOUNDATION AND
RETAINING WALL REMEDIAL WORKS
30B REDWOOD CRESCENT
NEW PLYMOUTH

Sheet Title
**RETAINING WALL TYPICAL
DETAILS**

Drawing No. 400-494	A3
Job No. 3908	Sheet No. S3-2
	A

THESE PLAN HAVE BEEN

SUPERSEDED

REPLACEMENT PLANS WILL BE IN THE APPROVED
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BC: 20/127347 ADDRESS: 308 Redwooda Crescent.

Amendment No & Date of Amendments that these superseded plans to relates to are:

1. **AMENDMENT**
01 130121

6.

2. **AMENDMENT**
127347 02

7.

3. 8.

4. 9.

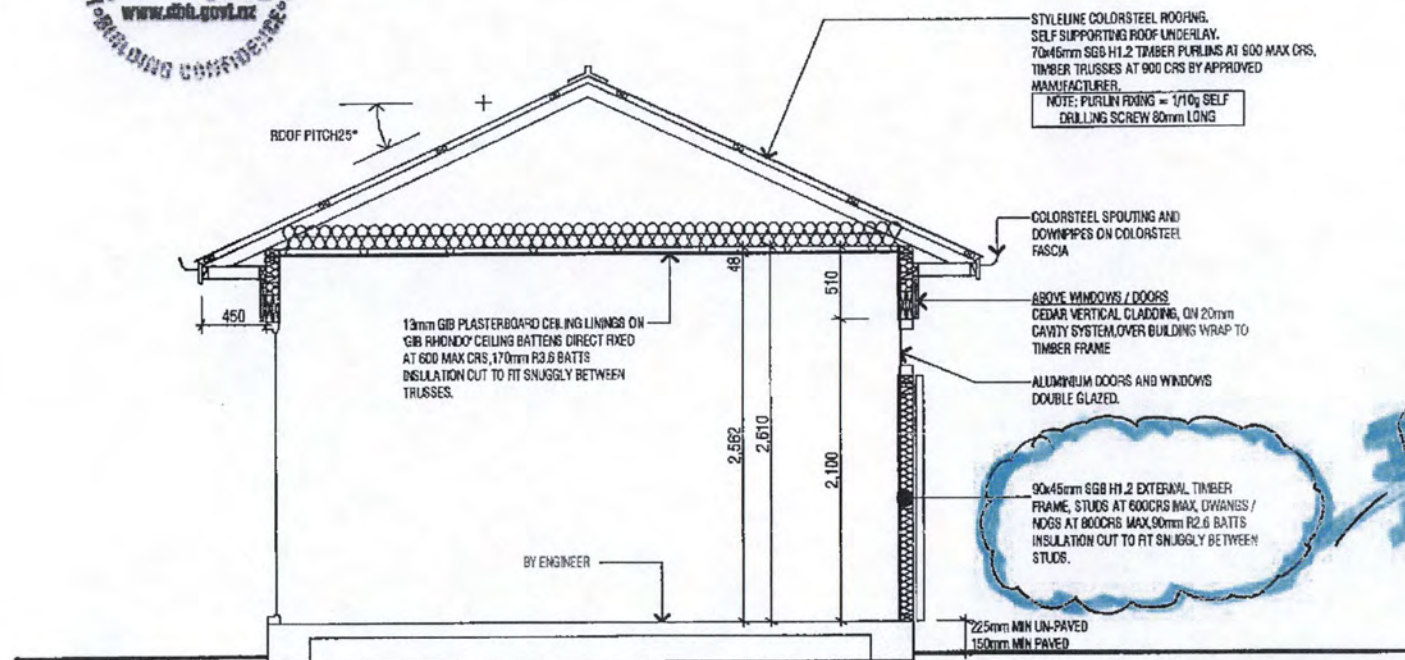
5. 10.

THESE ARE TO BE **KEPT AND SCANNED** AT THE
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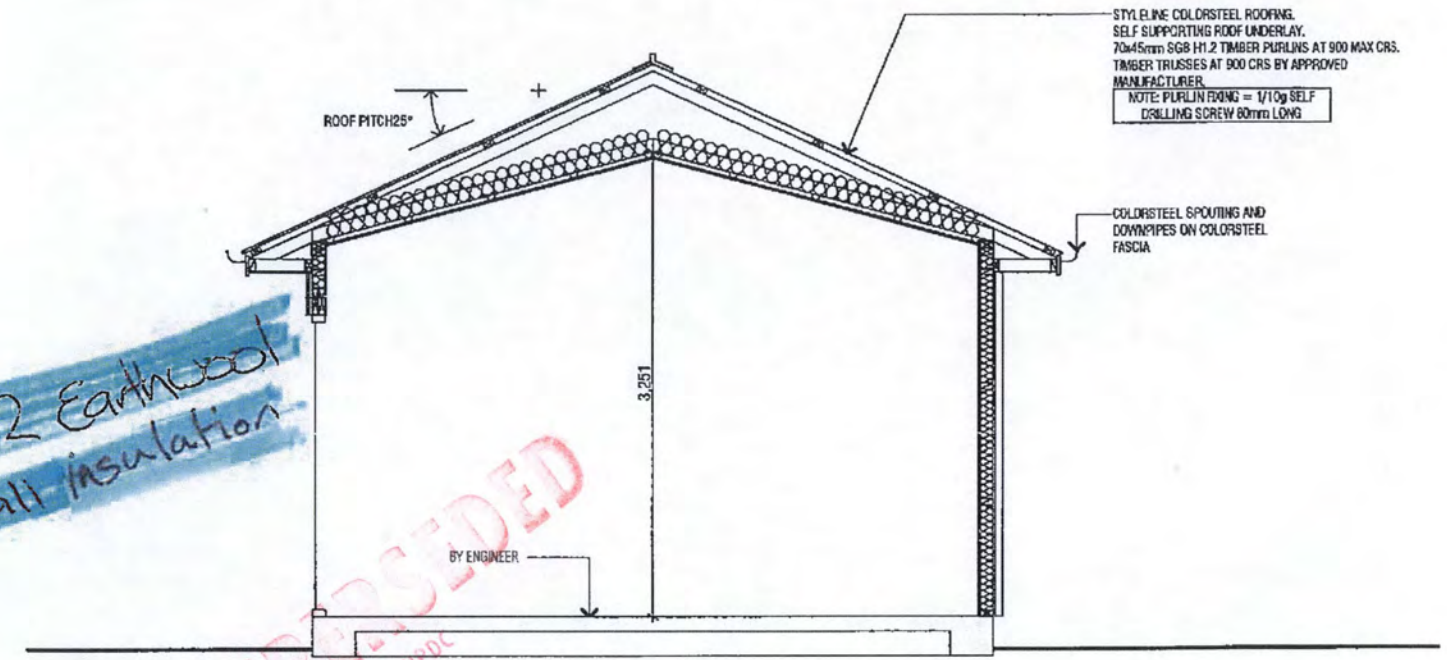


AMENDMENT

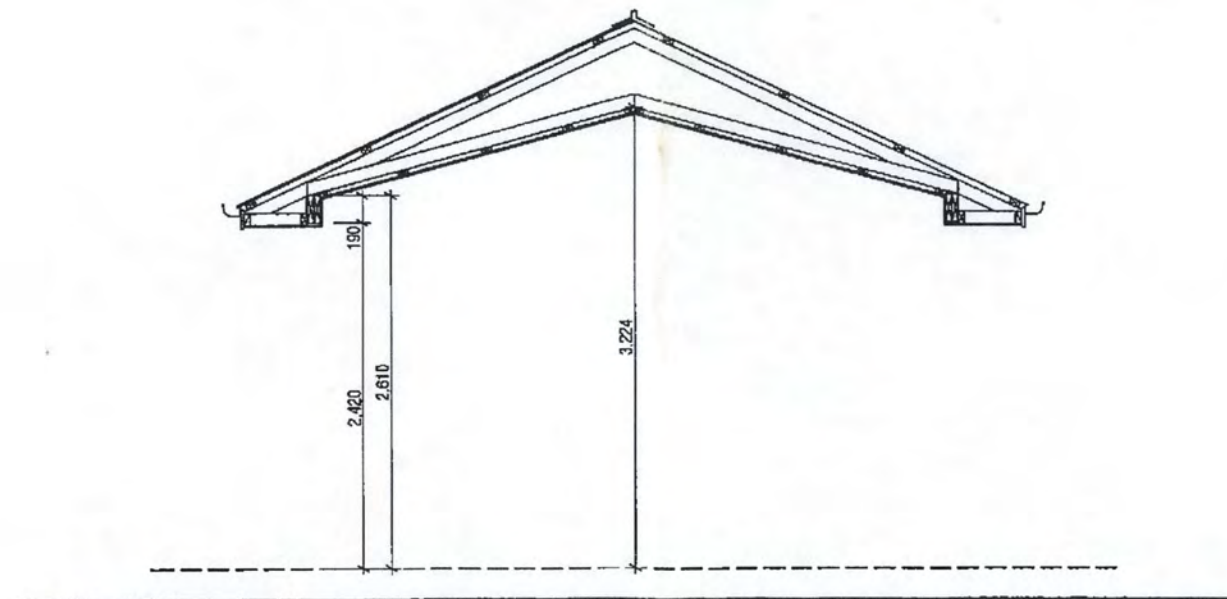
127347 - 01



CROSS SECTION A-A
SCALE 1:50



CROSS SECTION B-B
SCALE 1:50



CROSS SECTION C-C
SCALE 1:50

R2.2 Earthwool
Wall Insulation

SUPERSEDED

19 NOV 2020
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BC20/127347



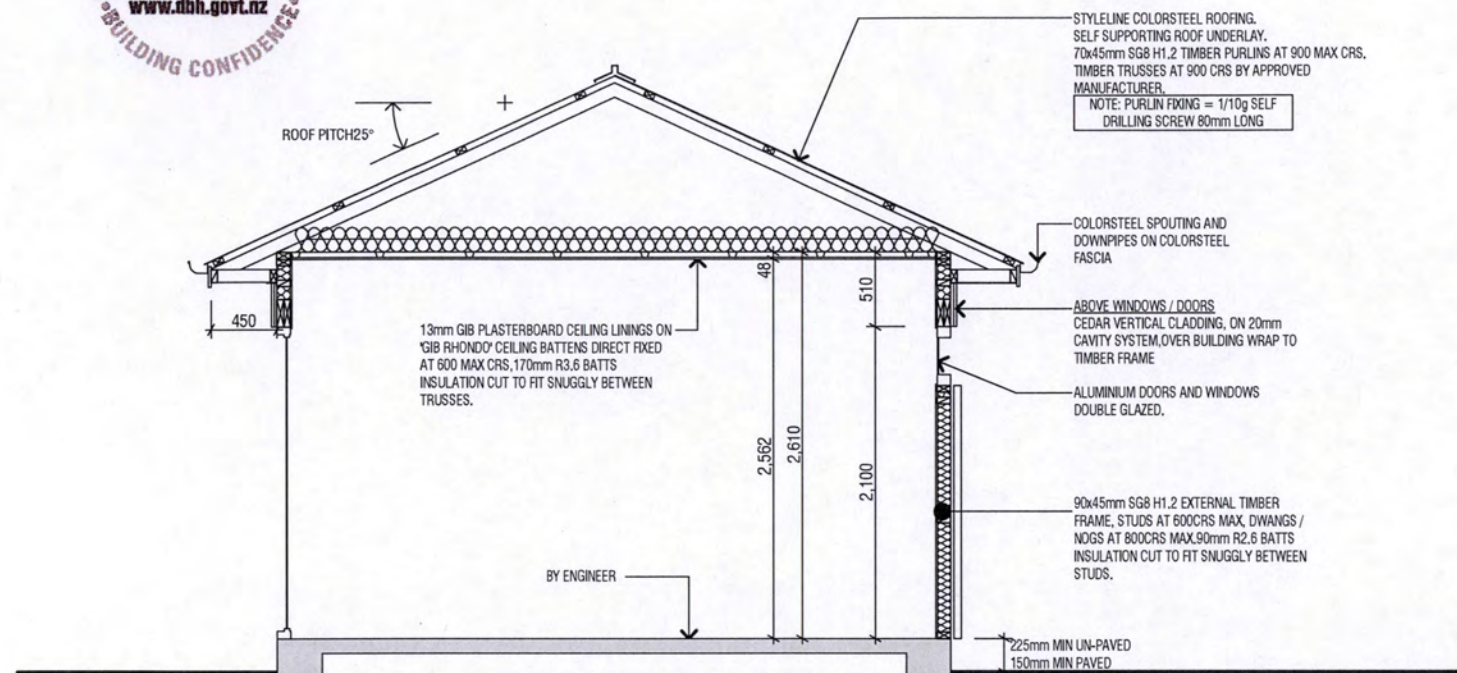
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REV.	DATE	REASON			
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FORSMAN & JAMIESON					
NEW RESIDENCE					
308 REDWOOD CRES, NP					
JOB					
2159					
BUILDING CONSENT					

CROSS SECTION

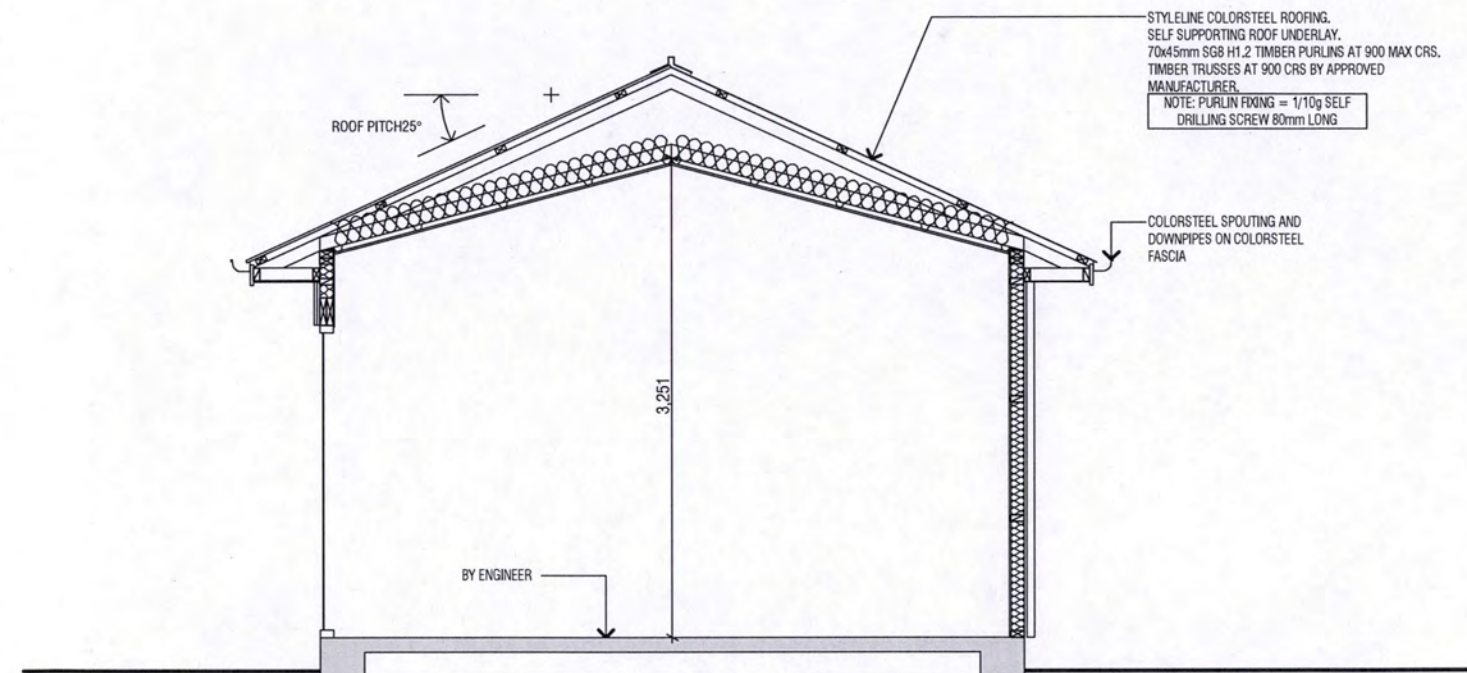
A4-1

AMENDMENT
dated: 127347-02

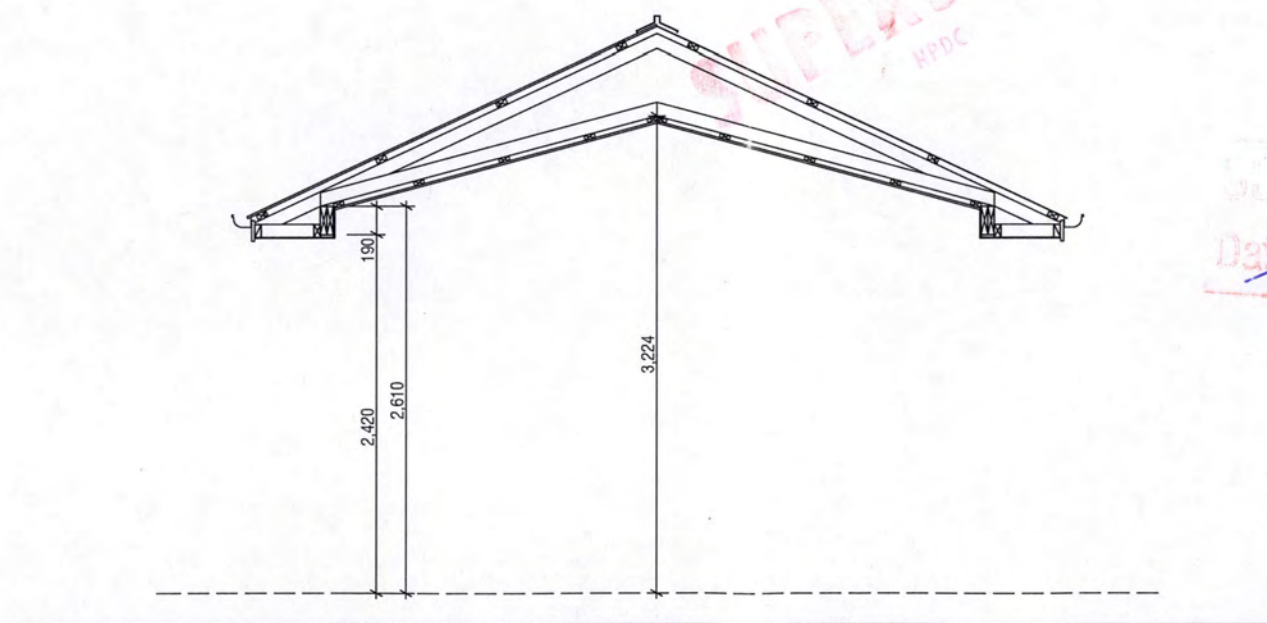
CHECK ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO CONSTRUCTION, REPORT ANY DISCREPANCIES TO THE DESIGNER



CROSS SECTION A-A
SCALE 1:50



CROSS SECTION B-B
SCALE 1:50



CROSS SECTION C-C
SCALE 1:50

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SEE AMENDMENT
Dated: 127 347 d

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BC 19.11.2020 COUNCIL RFPs
REV: DATE: REASON:
FORSMAN & JAMIESON
NEW RESIDENCE
30B REDWOOD CRES, NP
JOB: 2159
BUILDING CONSENT

DATE: 19.11.20 SCALE: 1:50 REVISION: COUNCIL RFPs
DESIGN: DRAWN: CHECKED: P.R. P.R. P.R.

CROSS SECTION

A4-1

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Building Consent

ARCHITECTURAL SPECIFICATION

FORSMAN

NEW RESIDENCE

- GIB BRACING CALCS & DETAILS
- UNDERTILE WATERPROOFING SPEC
- TRUSS DESIGN
- EPS CLADDING SPEC
- ENGINEER SLAB DESIGN
- GAS FIRE SPEC
- E2 DETAILS

SEE AMENDMENT

Dated: 13.01.21



Demand Calculation Sheet

Job Details

Name: FORESMAN
 Street and Number:
 Lot and DP Number
 City/Town/District
 Designer
 Company
 Date

Building Specification

Number of Storeys 1
 Floor Loading 2 kPa
 Foundation Type Slab

Cladding Weight Single
 Roof Weight Medium
 Room in Roof Space Light
 Roof Pitch (degrees) No
 Roof Height above Eaves (m) 25
 Building Height to Apex (m) 2.2
 Ground to Lower Floor (m) 4.8
 0.2

Average Stud Height (m) 2.55
 Building Length (m) 25.4
 Building Width (m) 13.6
 Building Plan Area (m²) 197

SEE AMENDMENT
 Dated: 13 01 21

Building Location

Wind Zone = High

Earthquake Zone 1

Soil Type D & E (Deep to Very Soft)
 Annual Prob. of Exceedance: 1 in 500 (NZS3604:2011 Default)

Bracing Units required for Wind

	Along	Across
Single Level	698	1229

Bracing Units required for Earthquake

	Along & Across
Single Level	595

GIB EzyBrace® Bracing Software



Single Level Along Resistance Sheet

Job Name: FORESMAN

Wind	EQ
Demand	
698	595
Achieved	
1579 226%	1387 233%

Line	Element	Length (m)	Angle (degrees)	Stud Ht. (m)	Type	Supplier	Wind BUs	EQ BUs	1579 226%	1387 233%
a	1	2.20		2.55	GS1-N	GIB®	143	124		
	2	0.90		2.55	GS1-N	GIB®	53	50		
	3	0.60		2.55	GS1-N	GIB®	32	33		
	4	0.60		2.55	GS1-N	GIB®	32	33		
	5	2.50		2.55	GS1-N	GIB®	162	141		
									423 OK	382 OK
b	1	1.90		2.55	GS1-N	GIB®	123	107		
	2	2.00		2.55	GS1-N	GIB®	130	113		
	3	2.40		2.55	GS1-N	GIB®	156	136		
									409 OK	356 OK
c	1	1.60		2.55	GS1-N	GIB®	104	90		
	2	2.00		2.55	GS1-N	GIB®	130	113		
	3	1.40		2.55	GS1-N	GIB®	91	79		
									325 OK	282 OK
d	1	6.50		2.55	GS1-N	GIB®	422	367		
									422 OK	367 OK

SEE AMENDMENT

Dated: 13 01 21



Single Level Across Resistance Sheet

Job Name: FORESMAN

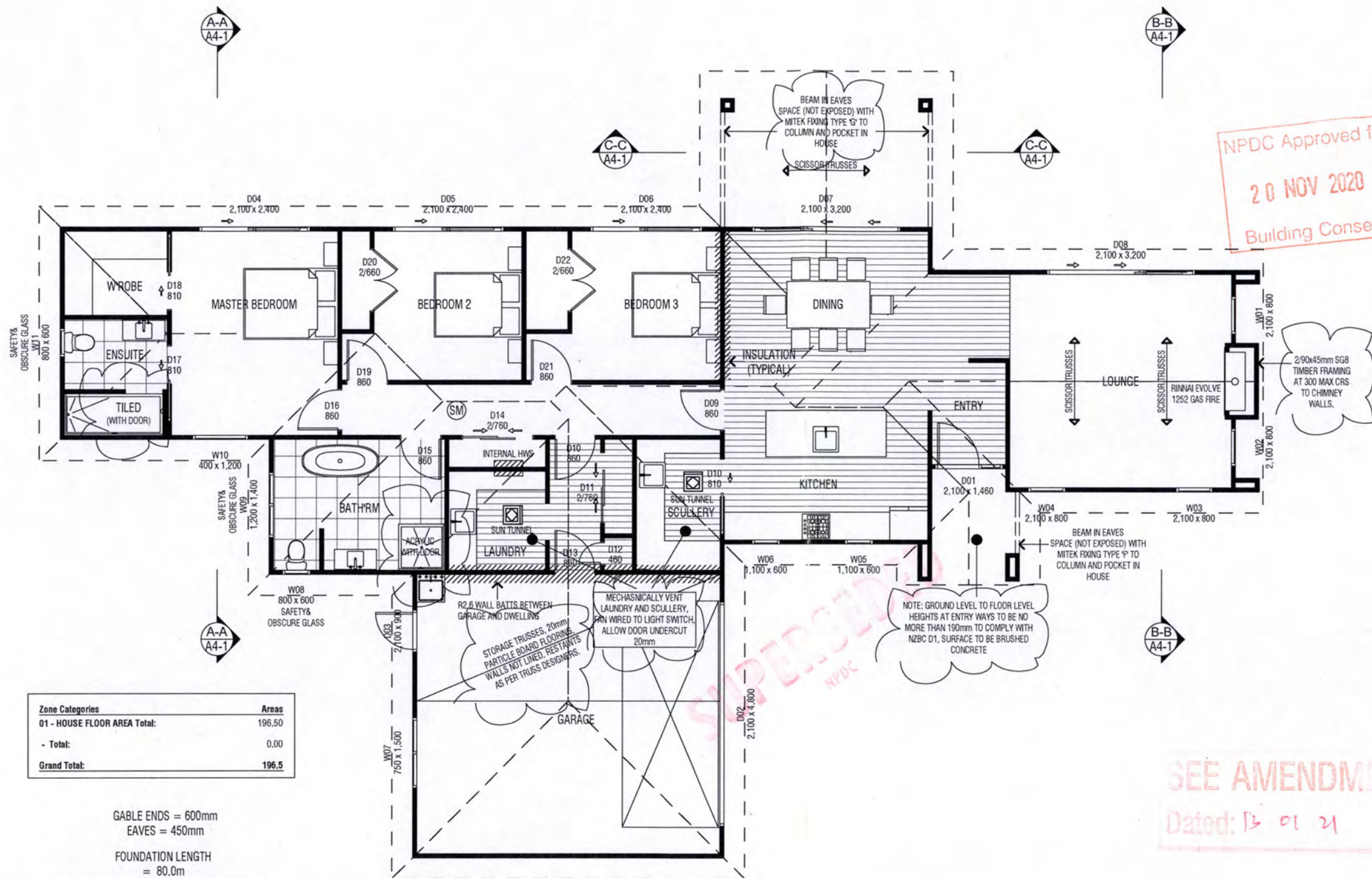
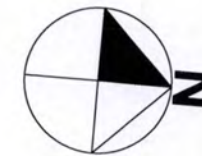
									Wind	EQ
									Demand	
									1229	595
									Achieved	
Line	Element	Length (m)	Angle (degrees)	Stud Ht. (m)	Type	Supplier	Wind BUs	EQ BUs	1558 127%	1375 231%
m	1	1.80		2.55	GS1-N	GIB®	117	102		
									117 OK	102 OK
n	1	2.10		2.55	GS1-N	GIB®	136	119		
	2	0.70		2.55	GS1-N	GIB®	39	39		
	3	0.70		2.55	GS1-N	GIB®	39	39		
									214 OK	196 OK
o	1	1.40		2.55	GS1-N	GIB®	91	79		
	2	1.40		2.55	GS1-N	GIB®	91	79		
									182 OK	158 OK
p	1	2.10		2.55	GS1-N	GIB®	136	119		
									136 OK	119 OK
q	1	3.20		2.55	GS1-N	GIB®	208	181		
	2	0.60		2.55	BL1-H	GIB®	56	57		
	3	0.60		2.55	BL1-H	GIB®	56	57		
									319 OK	295 OK
r	1	0.90		2.55	BL1-H	GIB®	96	87		
	2	2.20		2.55	GS1-N	GIB®	143	124		
	3	2.80		2.55	GS1-N	GIB®	182	158		
									421 OK	369 OK
s	1	1.40		2.55	BL1-H	GIB®	169	137		
									169 OK	137 OK

check stud height (gable)

still compares w/ NZS 3604

SEE AMENDMENT

Dated: 13 01 20



Zone Categories	Areas
01 - HOUSE FLOOR AREA Total:	196.50
- Total:	0.00
Grand Total:	196.5

GABLE ENDS = 600mm
EAVES = 450mm

FOUNDATION LENGTH
= 80.0m

NOTE: WATERPROOFING MEMBRANE
TO BE APPLIED AS PER CODE OF
PRACTICE FOR INTERNAL WET AREA
MEMBRANES. SEPERATE INSPECTION IS
REQUIRED.

NOTE: MECHANICALLY VENT SHOWERS / DRYER /
RANGE HOOD DIRECTLY TO OUTSIDE THROUGH
SOFFIT

G = MITEK LINTEL FIXING

FLOOR PLAN
SCALE 1:100

CONSTRUCTION KEY:

90x45mm TIMBER FRAMING
600 MAX CRS - 2.55m STUD
UNLESS NOTED OTHERWISE

NEW WINDOWS, SIZES AS LISTED.
W01 = WINDOW NUMBER
1,400 x 1,800 = WIN. SIZE (h x w)

NEW DOORS, SIZES AS LISTED.
D01 = WINDOW NUMBER
810 = DOOR SIZE

OSM SMOKE DETECTORS TO COMPLY
WITH NZBC F7/AS1

CONSTRUCTION NOTES:

ALL WORKS TO COMPLY WITH RELEVANT LOCAL
AUTHORITY, NZS 3604 2011 (LATEST AMENDMENTS),
& THE NEW ZEALAND BUILDING CODE.

CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO
WORK COMMENCEMENT.

DRAWINGS TO BE READ IN CONJUNCTION WITH THE
ARCHITECTURAL SPECIFICATION.

ALLOW FOR SOLID BLOCKING BEHIND WALL HUNG BATHROOM
VANITYS / TOILETS / RANGE HOODS /
DRYERS / TOILET ROLL HOLDERS ETC.
CONFIRM WITH OWNER PRIOR TO CONSTRUCTION

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BC 19.11.2020 COUNCIL RFS
REV: DATE: REASON:

DATE: SCALE: REVISION:
19.11.20 1:100 COUNCIL RFS

**FORSMAN &
JAMIESON**

NEW RESIDENCE
30B REDWOOD CRES, NP

DESIGN: DRAWN: CHECKED:
P.R. P.R. P.R.

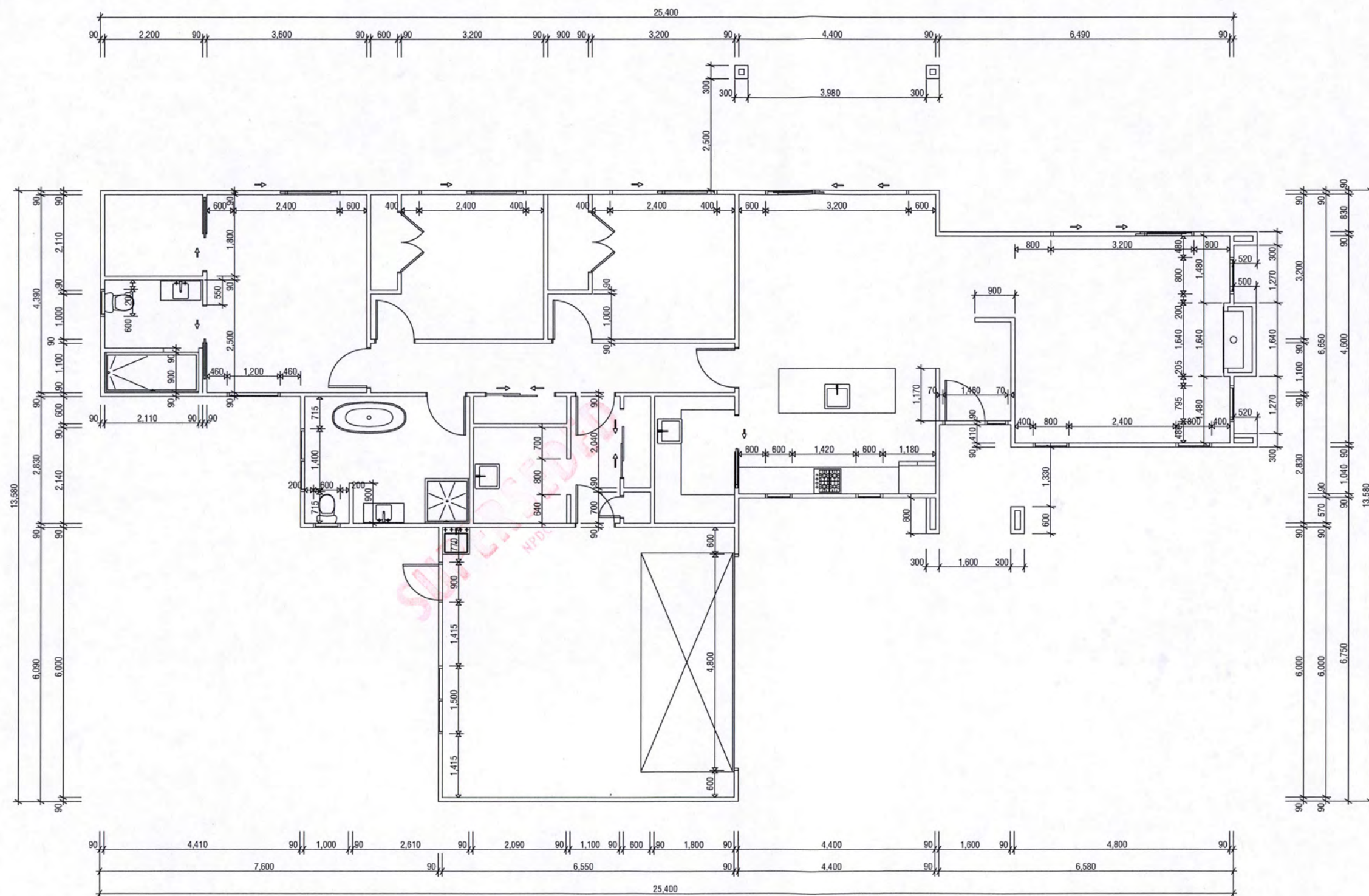
JOB:
2159

BUILDING
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FLOOR PLAN

A2-1

CHECK ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO CONSTRUCTION, REPORT ANY DISCREPANCIES TO THE DESIGNER



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DIMENSION PLAN

A2-2

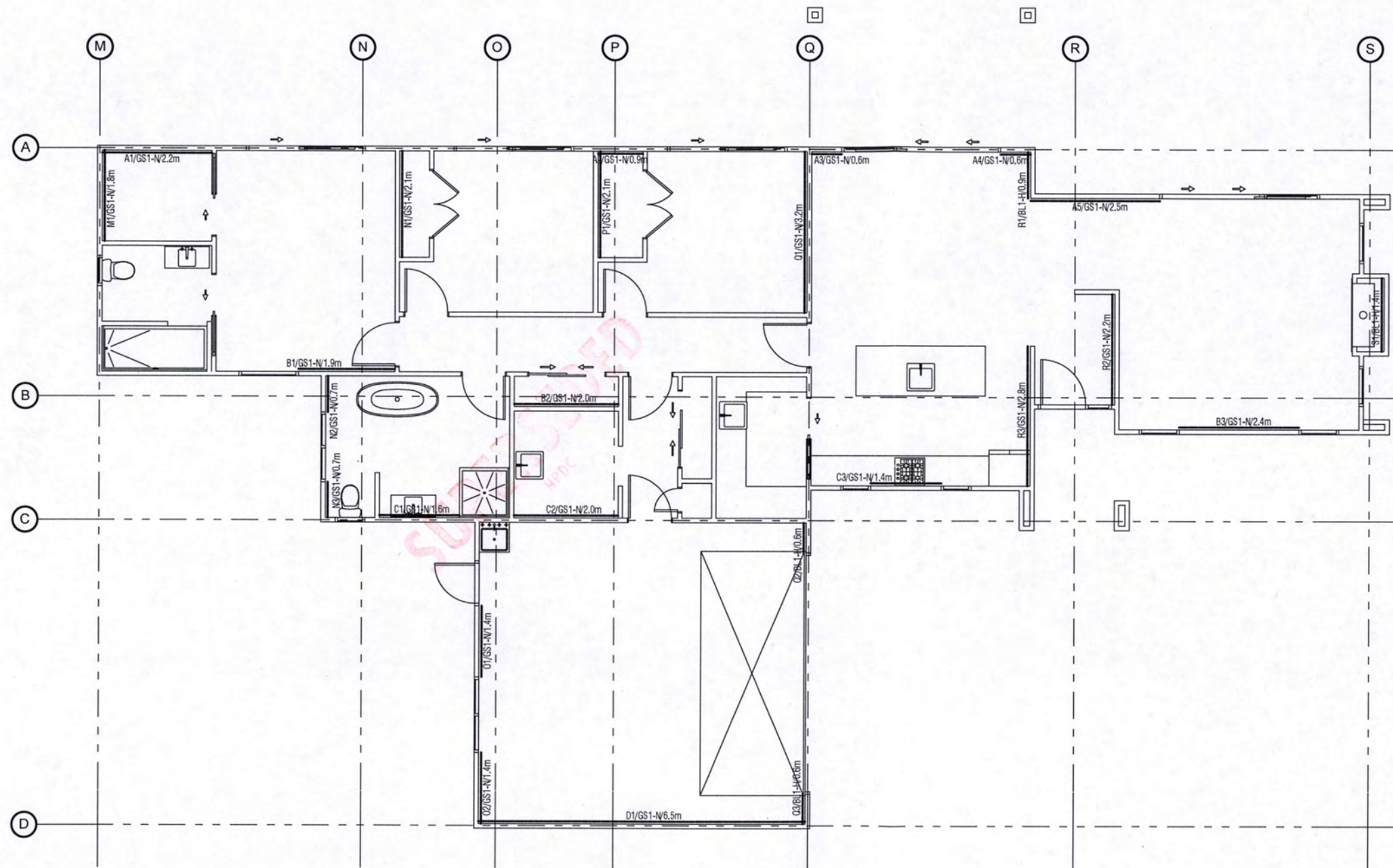
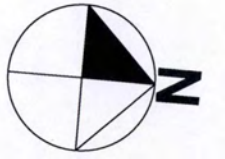
CHECK ALL DIMENSIONS BETWEEN DIMENSION / FOUNDATION / SETOUT
PLAN PRIOR TO SETOUT, REPORT ANY DISCREPANCIES TO THE
DESIGNER

NOTE: DIMENSIONS ARE TO TIMBER FRAME, CLADDING
DIMENSIONS NOT SHOWN FOR CLARITY - REFER TO
FOUNDATION PLAN FOR OVERALL DIMENSIONS FOR SETOUT.

CHECK ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO CONSTRUCTION, REPORT ANY DISCREPANCIES TO THE DESIGNER

SEE AMENDMENT
Dated: 13 01 21

DIMENSION PLAN
SCALE 1:100



WIND ZONE DETERMINATION

Wind Region	A
Lee Zone	N/A
Ground Roughness	Urban
Site Exposure	Sheltered
Topographic class	Outer - Low - T1
Wind Zone	High

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30B REDWOOD CRES, NP
JOB: 2159
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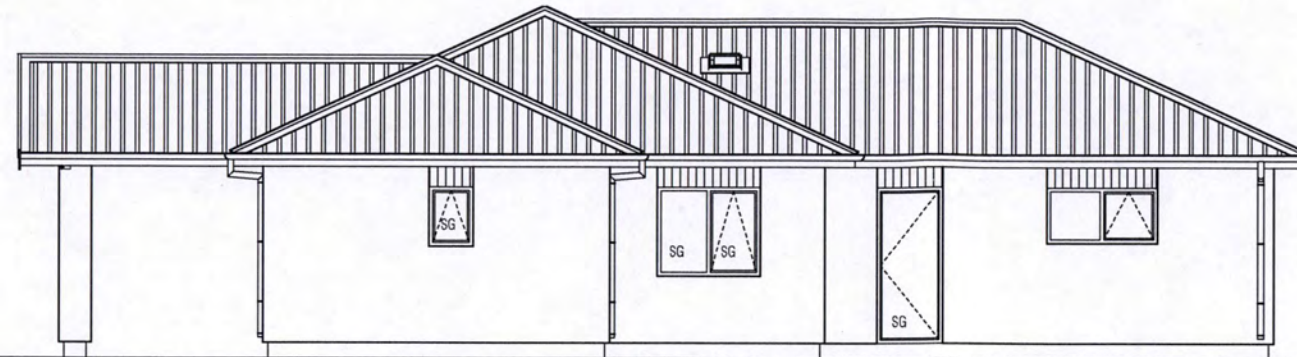
BRACING PLAN
SCALE 1:100

SEE AMENDMENT
Dated: 13 01 21

BRACING PLAN

A2-3

CHECK ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO CONSTRUCTION, REPORT ANY DISCREPANCIES TO THE DESIGNER



SOUTH ELEVATION
SCALE 1:100

BUILDING ENVELOPE RISK MATRIX		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		4

STYLELINE COLORSTEEL ROOFING.
SELF SUPPORTING ROOF UNDERLAY.
70x45mm SGB H1.2 TIMBER PURLINS AT 900 MAX CRS.
TIMBER TRUSSES AT 900 CRS BY APPROVED MANUFACTURER.

NOTE: PURLIN FIXING = 1/10g SELF DRILLING SCREW 80mm LONG

-50mm EPS CLADDING WITH PLASTER FINISH.
-20mm CAVITY SYSTEM.
-BUILDING WRAP.

ENSURE ON GABLE ENDS
TIMBER FRAMING AT 600 MAX CRS, FOR
CLADDING FIXING, NOGGS AT 400 MAX CRS
TO VERTICAL WEATHERBOARD AREAS.

ABOVE WINDOWS / DOORS
CEDAR VERTICAL CLADDING, ON 20mm
CAVITY SYSTEM, OVER BUILDING WRAP TO
TIMBER FRAME

ALUMINIUM DOORS AND WINDOWS
DOUBLE GLAZED.

NORTH ELEVATION
SCALE 1:100

BUILDING ENVELOPE RISK MATRIX		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		4

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JOB: 2159
BUILDING CONSENT

ELEVATIONS

A3-1

CHECK ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO CONSTRUCTION, REPORT ANY DISCREPANCIES TO THE DESIGNER